

AGENDA

CITY OF GUADALUPE PLANNING COMMISSION

Tuesday, October 19, 2010

Regular Meeting 6:00 p.m.

**City Hall, Council Chambers
918 Obispo Street, Guadalupe, CA 93434**

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in a City meeting or other services offered by this City, please contact the City Clerk's office, (805) 356-3891. Notification of at least 72 hours prior to the meeting or time when services are needed will assist the City staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting or service.

*If you wish to speak concerning any item on the agenda, please complete the Request to Speak form that is provided at the rear of the Council Chambers prior to the completion of the staff report and hand the form to the City Clerk. **Note:** Staff Reports for this agenda, as well as any materials related to items on this agenda submitted after distribution of the agenda packet, are available for inspection at the office of the City Administrator, City Hall, 918 Obispo Street, Guadalupe, California during regular business hours, 8:00 a.m. to 12:00 pm. and 1:00 p.m. to 5:00 p.m., Monday through Friday; telephone (805) 356-3891.*

MEMBERS OF THE PLANNING COMMISSION: Commissioners Monika Huntley, Alejandro Ahumada, Kenneth Chamness, Vice-Chair Jesse Ramirez, and Chair Carl Kraemer.

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL** Commissioners Monika Huntley, Alejandro Ahumada, Kenneth Chamness, Vice-Chair Jesse Ramirez, and Chair Carl Kraemer.
4. **CONSENT CALENDAR** The following routine items are presented for Planning Commission approval without discussion as a single agenda item in order to expedite the meeting. Should a Commissioner wish to discuss or disapprove an item, it must be dropped from the blanket motion of approval and considered as a separate item.
 - a. Minutes of the Planning Commission meeting of September 21, 2010 to be ordered filed.

5. **COMMUNITY PARTICIPATION FORUM**

Each person will be limited to a discussion of 3 minutes. Pursuant to provisions of the Brown Act, no action may be taken on these matters unless they are listed on the agenda, or unless certain emergency or special circumstances exist. The Planning Commission may direct Staff to investigate and/or schedule certain matters for consideration at a future Planning Commission meeting.

6. **REPORTS FROM CITY STAFF OTHER THAN PLANNING STAFF**

This item provides an opportunity for staff from other City Departments to provide updates to the Commission on activities of interest to the Commission. Items potentially to be discussed include Code Enforcement Efforts, City Parks activities, and Public Works activities.

7. **PUBLIC HEARING TO CONSIDER A CONDITIONAL USE PERMIT FOR THE GUADALUPE WASTEWATER TREATMENT PLANT IMPROVEMENTS PROJECT (PLANNING APPLICATION #2010-011-CUP).**

That the Planning Commission: 1) Receive a presentation from staff; 2) Conduct the Public Hearing on the project, 3) Adopt PC Resolution No. 2010-003 approving the Conditional Use Permit (Case #2010-011-CUP) for the Guadalupe Wastewater Treatment Plant Improvement Project.

- a. Written Staff Report (Rob Mullane and Dennis Delzeit)
- b. Conduct Public Hearing;
- c. Planning Commission discussion and consideration.
- d. It is recommended that the Planning Commission: 1) Receive a presentation from staff; 2) Conduct the Public Hearing on the project, 3) Adopt PC Resolution No. 2010-003 approving the Conditional Use Permit (Case #2010-011-CUP) for the Guadalupe Wastewater Treatment Plant Improvement Project.

8. **PLANNING COMMISSION PROJECT REVIEW WORKSHOP.** That the Planning Commission receive the presentation from staff.

- a. Written Staff Report (Rob Mullane)
- b. Planning Commission discussion.
- c. It is recommended that the Planning Commission receive the presentation from staff.

9. **PLANNING DIRECTOR'S REPORT**

10. **FUTURE AGENDA ITEMS**

11. **ANNOUNCEMENTS**

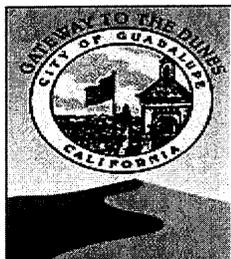
12. ADJOURNMENT

I hereby certify under penalty of perjury under the laws of the State of California that the foregoing Agenda was posted at the City Hall display case, the Water Department, the City Clerk's office, and Rabobank not less than 72 hours prior to the meeting. Dated this 19th day of October 2010.

By:



Regan Candela, Deputy City Clerk



Draft MINUTES

CITY OF GUADALUPE PLANNING COMMISSION

Tuesday, September 21, 2010

Regular Meeting 6:00 p.m.

**City Hall, Council Chambers
918 Obispo Street, Guadalupe, CA 93434**

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MEMBERS OF THE PLANNING COMMISSION: Commissioners Monika Huntley, Alejandro Ahumada, Kenneth Chamness, Vice-Chair Jesse Ramirez, and Chair Carl Kraemer.

Staff present: Rob Mullane, City Planner; Shauna Callery, Associate Planner; Dennis Delzeit, City Engineer; and Regan Candelario, City Administrator

1. **CALL TO ORDER.** 6:04 p.m. by Chair Kraemer
2. **PLEDGE OF ALLEGIANCE.** Conducted.
3. **ROLL CALL.** Commissioners Kenneth Chamness, Alejandro Ahumada, and Chair Carl Kraemer: present. Commissioner Monika Huntley and Vice-Chair Jesse Ramirez: absent.
4. **CONSENT CALENDAR.** The following routine items are presented for Planning Commission approval without discussion as a single agenda item in order to expedite the meeting. Should a Commissioner wish to discuss or disapprove an item, it must be dropped from the blanket motion of approval and considered as a separate item.

- a. Minutes of the Planning Commission special meeting of April 20, 2010 to be ordered filed.

Commissioner Chamness asked to have the item pulled for discussion. After some discussion, the April 20, 2010 minutes were approved without revisions.

Motion: Ahumada/Chamness moved to approve the consent agenda.

VOTE: **Ayes: 3**
 Noes: 0
 Absent:2

Motion passed

5. COMMUNITY PARTICIPATION FORUM.

Each person will be limited to a discussion of 3 minutes. Pursuant to provisions of the Brown Act, no action may be taken on these matters unless they are listed on the agenda, or unless certain emergency or special circumstances exist. The Planning Commission may direct Staff to investigate and/or schedule certain matters for consideration at a future Planning Commission meeting.

No speakers.

6. REPORTS FROM CITY STAFF OTHER THAN PLANNING STAFF

This item provides an opportunity for staff from other City Departments to provide updates to the Commission on activities of interest to the Commission. Items potentially to be discussed include Code Enforcement Efforts, City Parks activities, and Public Works activities.

Mr. Mullane noted that this item has been placed on the Planning Commission’s agenda as a standing item at the request of the Commission, but that no reports were anticipated at this meeting.

7. PUBLIC HEARING TO CONSIDER A CONDITIONAL USE PERMIT FOR THE RUIZ STORM DRAIN PROJECT AT 848 OLIVERA STREET (PLANNING APPLICATION #2010-007-CUP).

That the Planning Commission: 1). Receive a presentation from staff; 2) Provide an opportunity for the applicant to present the proposed project; 3) Conduct the Public Hearing to take any comments from the public, 4) Adopt RC Resolution No. 2010-01 approving Conditional Use Permit (Case #2010-007-CUP) for the for the Ruiz Storm Drain Project at 848 Olivera Street.

- a. Written Staff Report (Rob Mullane)
- b. Conduct Public Hearing;
- c. Planning Commission discussion and consideration.
- d. It is recommended that the Planning Commission 1). Receive a presentation from staff; 2) Provide an opportunity for the applicant to present the proposed project; 3) Conduct the Public Hearing to take any comments from the public, 4) Adopt

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RC Resolution No. 2010-01 approving Conditional Use Permit (Case #2010-007-CUP) for the for the Ruiz Storm Drain Project at 848 Olivera Street.

Mr. Mullane introduced the item and turned over the oral staff report to Shauna Callery, Associate Planner. Ms. Callery gave a brief staff report. Mr. Mullane noted and distributed a letter dated September 21, 2010 from Ms. Shirley Boydston, noting support for the project and a desire for careful City oversight of the project's implementation. The letter was read into the record. Staff also distributed additional site photographs from the applicant team and a letter dated September 17, 2010 from Mr. David Swenk requested revisions to two of the draft conditions of approval (Conditions 14 and 16). Staff noted that City staff have reviewed the requested revisions and concur with the requested revisions. Staff also noted that the number of the Resolution prepared for the CUP request should be #2010-002.

The Chair opened the public hearing at 6:20 pm.

Speaker #1: David Swenk, applicant representative, provided additional project description information and history of the project. Mr. Swenk also went over the photographs distributed to the Commission, and fielded specific questions from the Commission. Among the items addressed by Mr. Swenk were that County Flood Control Division will review the design of the pipe and ensure that it satisfactorily handles storm runoff, that no subsequent development of the site is planned at this time, that the City will have an easement for maintenance of the drain pipe. Later in the discussion, Mr. Swenk also clarified the final grading and drainage plans showing a 0.39% slope towards Olivera Street.

Commissioner Chamness distributed and summarized a memo with suggested additional conditions of approval for discussion and a set of site photos that he produced. The suggested additional conditions pertained to clean-up and beautification of the site, addressing fence maintenance, addition of landscaping, and trash removal.

Mr. Swenk replied that landscaping was not required per the Zoning Ordinance.

Staff concurred, and noted that the fence maintenance issues can be addressed by existing Zoning Code requirements and that the project would be an aesthetic improvement over the existing conditions.

Speaker #2: Joe Ruiz, Sr., addressed Planning Commission questions about maintenance and cleanup of the site and stated that the Commissioners' concerns with the appearance of the site and condition of the on-site fencing would be addressed right away.

Commissioner Chamness noted his support of the project, but reiterated that additional beautification of the site should be tied to the CUP approval.

Chair Kraemer closed the public hearing at 6:53.

The Commission discussed the item and proceeded with motions.

Motion #1: Chamness moved to approved Resolution 2010-002 with the additional requirement of submittal of a beautification plan to the City Administrator.

Motion failed for lack of a second.

Motion #2: Ahumada/Kraemer moved to approve Planning Commission Resolution 2010-002, approving Planning Application #2010-007-CUP, with the applicant's requested revisions noted in their 9/17/10 letter.

VOTE: **Ayes: 2**
 Noes: 1 (Chamness)
 Absent:2
 Motion carried

Mr. Candelario stated that he will report back to the Commission on what improvements to the site's appearance and fencing have been made.

8. PLANNING DIRECTOR'S REPORT.

Mr. Mullane provided an update on the DJ Farms project, the Housing Element update, and recent grants that the City has or is pursuing. City staff addressed Commissioner questions on these projects.

The Chair called for a short recess between 7:15 and 7:18, to provide a short break.

9. FUTURE AGENDA ITEMS.

- a. Virtual Tour of Recently Completed Planning Projects
- b. City Wastewater Treatment Plant Operational Improvements

Mr. Mullane noted that staff will bring some photos of recently completed projects to the Commission for review and discussion, as the Commission has requested, with the first batch of such projects at the next Planning Commission meeting.

Mr. Mullane noted that staff intends to bring a CUP for upgrades to the City's Wastewater Treatment Plant next month.

10. ANNOUNCEMENTS.

Chair Kraemer reminded the audience to please spay and neuter their pets. Chair Kraemer also noted a need for supporting the public library.

11. ADJOURNMENT.

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Chair Kraemer adjourned the meeting at 7:24 pm.

Submitted by:

Affirmed by:

Robert A. Mullane, City Planner
Planning Commission Secretary

Carl Kraemer, Chair



MEMO

To: Mayor and City Council
From: Regan Candelario, City Administrator
Subject: O'CONNELL PARK MAINTENANCE ISSUE – UPDATE
Date: October 12, 2010

The following items were identified during site visits to O'Connell Park. Staff has taken steps to address many of these items. The following is an update for your information.

1. Increase the number of trashcans available at the park for the remainder of the football season. The trashcans should be available on all sides of the field to encourage visitors to use the trashcans. Request that WM provide a supply (8) of temporary cardboard trash boxes and liners for each of the four remaining Saturday football game events. (Task complete. WM provided the cardboard trashcans and liners. There was significant improvement in the trash situation on 9/25 and the process will continue for the remaining football game events at O'Connell Park.)
2. Remove the dead tree at the far western section of the park across from the football field. (Staff has this task scheduled for the next month.)
3. Plant replacement trees where needed along the existing line of windbreak trees. (The timeline for this task will be extended to the appropriate time of the year that will enable successful planting. Staff is researching cost and tree availability.)
4. Either remove or secure the "no smoking" pole that is adjacent to the play equipment. (The pole was removed and will be replaced at a later date.)
5. Purchase an appropriate amount of play sand and add it to the play equipment area. (The area was improved and sand is being purchased. Installation will occur in the next month.)
6. Purchase an appropriate amount of wood chips for the swing area of the play equipment area. (A supply of wood chips was purchased and delivered.)
7. Replace (if needed) the water fixture at the basin in the snack bar building. The water heater appears to be working...but the faucet does not work. (Staff fixed the water faucet issue, which turned out to be a very minor issue due to lack of use.)
8. Ensure that each bathroom at the park is properly cleaned and disinfected each week. (Task complete. Also, the schedule of service has been reconfirmed.) Please let me know the minimum number times per week that we clean/disinfect all City Park restrooms.
9. Secure the football spectator bleachers to the ground where needed. (Task complete.)
10. Install weather stripping to the bottom of the double doors on the north facing side of the snack bar building similar to the existing weather stripping on the south facing doors. (Task complete.)

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If you have any questions, please be sure to contact me directly at 805/356-3892.

Thank you.

A handwritten signature in black ink, appearing to be 'Regan M. Candelario', with a long horizontal flourish extending to the right.

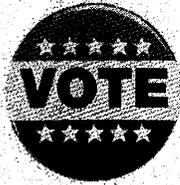
Regan M. Candelario
City Administrator

CITY OF GUADALUPE WATER SERVICE BILLING NOTICE

The City of Guadalupe has been experiencing a large number of customers who are late in paying their water bill and have had their water service shut off for non-payment. In a number of cases, the customers have turned their water service back on without paying their bill, and in some cases, have even cut off the City's lock to restore their service. This tampering with the water service is a violation of the Guadalupe Municipal Code and is a crime. In order to deter this practice, the City is establishing a new process of actively enforcing the Municipal Code for those customers who tamper with their water service. When a water service is shut off for non-payment or other reasons, a notice will be attached to the water meter stating that it is illegal for any person other than an authorized City employee to turn on a water service. When a City employee finds a water service has been turned on illegally, the water account holder of record and the property owner of record will be issued an Administrative Citation with a minimum fine of \$100.00 for a first violation, and a minimum fine of \$1,000.00 for any additional violations in a calendar year. Any person who cuts or otherwise removes a lock from a water service to turn it on will be issued an Administrative Citation with a minimum fine of \$1,000.00, and the water meter may be removed from the property until all fees are paid. Chronic violators may be subject to criminal prosecution by the City in addition to the Administrative fines.

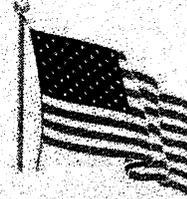
Please direct your questions about this new program to the City of Guadalupe Water Department at 805 343-1340.

**The Santa Maria League of Women Voters and
American Legion Post 371 Present**



2010 Ballot Initiative Open House

**Thursday, October 14th, 2010
5:00 PM—7:00 PM**



**American Legion Hall
1025 Guadalupe St.
Guadalupe, CA**

Come learn about local, county, and state-wide ballot measures!
Representatives from the City of Guadalupe, League of California Cities,
and Sheriff's Office will be in attendance to answer your questions.

*Reminder: The voter registration deadline for the upcoming election is **October 18, 2010**.
You can pick up a voter registration packet at City Hall (at 918 Obispo Street)
or at the Post Office (1030 Guadalupe Street),*

REPORT TO THE PLANNING COMMISSION

October 19, 2010

151

Prepared By:
Rob Mullane, City Planner



Approved By:
Regan Candelario, City Administrator

SUBJECT: Public hearing to consider a Conditional Use Permit for the upgrades to the Guadalupe Wastewater Treatment Plant (Planning Application #2010-011-CUP)

EXECUTIVE SUMMARY:

The City is requesting a Conditional Use Permit (CUP) for upgrade improvements to the Guadalupe Wastewater Treatment Plant (WWTP) located at 5125 W. Main Street (APN: 113-030-021). Improvements are to the existing facility and consist of: upgrade to the headworks, conversion of current pond system to an extended aeration design, new sludge handling facilities, upgrade to the existing irrigation pump station, dredging the existing ponds and disposal of solids, and miscellaneous site work. The project will not add capacity to the existing WWTP. The improvements are needed to address regulatory requirements of the Regional Water Quality Control Board (RWQCB) for the plant's waste discharge permit. The project is being funded by a Proposition 50 grant that the City obtained.

RECOMMENDATION:

- 1) Receive a presentation from staff
- 2) Conduct the public hearing on the project
- 3) Approve PC Resolution 2010-003 approving Conditional Use Permit (Case #2010-011-CUP) for the for the Guadalupe Wastewater Treatment Plant Improvement Project

BACKGROUND:

The City's Wastewater Treatment Plant (WWTP) is located at 5125 W. Main Street (APN 113-030-021) in the northwest portion of the City. The WWTP provides sewage treatment and disposal and serves the entirety of the City. The plant is subject to regulatory oversight by the Regional Water Quality Control Board (RWQCB) through compliance with the RWQCB's Waste Discharge Requirement (WDR) permit. The RWQCB permit establishes throughput limits and waste discharge quality requirements. The plant is operating within its allowed throughput limits, but has not consistently met wastewater discharge requirements for the last few years.

The RWQCB issued the City a WDR (Order No. R3_2005-001) on September 9, 2005, which sets numerical limits for various discharge components. Since 2005, on occasion, there have been total suspended solids (TSS) and biochemical oxygen demand (BOD) levels in excess of allowable limits. Possible reasons of these BOD and TSS excesses can be attributed to: the introduction of large amounts of food waste discharges from

local packing facilities (vegetable matter); ineffective preliminary treatment at treatment plant (lack of effective grit removal); failed equipment and overloaded pond system; and operational inefficiencies of the treatment process.

The City applied for and was awarded funding through a Proposition 50 grant to allow the City to make improvements to the plant and come into compliance with the RWQCB WDR Order. The improvement project is being overseen by the City Engineer, who has retained the services of Dudek and Associates, and engineering firm with substantial experience with WWTP projects, to provide professional engineering services to plan and design improvements to the existing plant to ensure compliance with the WDR.

A Conditional Use Permit (CUP) under the jurisdiction of the Planning Commission is required because the WWTP site is located in the City's Coastal Zone. The City's Coastal Zoning Element, which has been adopted by the California Coastal Commission as the City's Local Coastal Program, stipulates that development within the WWTP site requires a CUP. The CUP serves as the Coastal Development Permit, and upon approval, notice of the approval would be provided to Coastal Commission staff for concurrence with the action. City staff has prepared the application for the CUP and is bringing the item to the Planning Commission for action.

DISCUSSION:

Project Description

The proposed Guadalupe Wastewater Treatment Plant Improvement Project consists of: an upgrade to the facility headworks, conversion of current pond system to an extended aeration design, new sludge handling facilities, an upgrade to the existing irrigation pump station, dredging the existing ponds and disposal of solids, and miscellaneous site work and equipment replacements and additions. A site plan is provided as Attachment 3, and site photos are provided as Attachment 4.

The components of the project, which are described in detail below, comprise do not add capacity to the existing wastewater treatment plant (WWTP) above permitted levels. The current plant has a design capacity of 0.96 million gallons per day (MGD), if operating efficiently, and the plant is anticipated to adequately meet the needs of the City, including its projected growth, for the next 20 years.

Headworks. The project proposes to replace the existing communitor with a new six millimeter (1/4-inch) mechanically cleaned bar screen, while retaining the manual bar rack as a stand-by option. The new screen will remove the significant amount of unprocessed bulk vegetable matter from the plant influent, as well as the coarse solids often contained in raw sewage. The screenings will be delivered to a washer/compactor to be washed, dewatered, and then collected in waste bins for disposal.

In addition, the three submersible centrifugal pumps located in the influent pump station wet well are proposed to be replaced with new, solids-handling, submersible sewage pumps. The replacement will include upgrade of the mounting components and guide rails. The system curve will be evaluated to ensure that the selected pumps provide the necessary capacity. A new motorized crane will be installed to facilitate the removal of pumps. The pumps are operated by Variable Frequency Drives (VFDs). Two of the

VFDs are relatively new, having been installed in 2008. The one remaining VFD from 1992 will be replaced to match the VFDs installed in 2008. The VFD enclosure will be replaced with adequate dust control and air conditioning.

Ponds. The smallest pond in the facility (Pond No. 3) will be converted to a Biolac®-R pond for treatment of the design flows. This entails converting an existing earthen pond into an extended aeration process with a small amount of earthwork. Two 60 horsepower blowers will be installed with one additional blower provided for standby operations. While only one small pond will be converted to a Biolac®-R pond, the other three ponds remain available for other uses. Small modifications in pipe work will be required.

Sludge Handling. An alternative sludge handling facility will be provided to provide sufficient area to dewater the waste activated sludge (WAS) produced. The integral clarifiers on the Biolac®-R system is estimated to waste sludge at 1,750 lb/day with a concentration of 5,900 mg/L (0.59% dry solids).

Site Services. Adequate sewer and water pipelines will be provided at the plant. The current sewer line shall be extended to service all new facilities constructed at the plant. The plant is currently serviced by an on-site water well. However, the City's water distribution system is available near the plant. In the project, a new water line will be installed around the treatment plant, connected to the City's distribution system; with wash-down hose points installed at the key locations.

During the preliminary design phase, existing power, required power and standby power requirements will be analyzed and scope of work developed for electrical portion of the project. Instrumentation and telemetry requirements shall also be analyzed with particular attention to monitoring and control of process and equipment. Discussions with Pacific Gas and Electric have been initiated to potentially reduce demands during peak hours. In addition, the existing standby emergency generator and 300 gallon, above-ground diesel fuel tank would be replaced with a new generator that meets APCD and Fire Department requirements and standards, as well as a new 300-400 gallon sub-base, double-walled fuel storage tank with leak detection.

The facility currently is within a fence and has a locked gate. During preliminary design, security issues will be analyzed including security lighting and alarms.

The plant site has several abandoned structural and mechanical elements from past upgrades and in this project it is proposed that all those unused structures be demolished and the plant site restored to an easily accessible and functional site. There is also a significant amount of trash and debris that has accumulated.

Access to the plant is via a driveway off West Main Street. This road needs to be paved along with access roads within the plant to facilitate the easy movement of grit removal and sludge hauling trucks. The proposed site plan is intended to maintain drivable access to all process areas. Sludge hauling facilities are designed to allow for ease of sludge container loading and removal.

The construction duration of the WWTP Improvement Project is anticipated to be approximately 12 months.

Project Issues

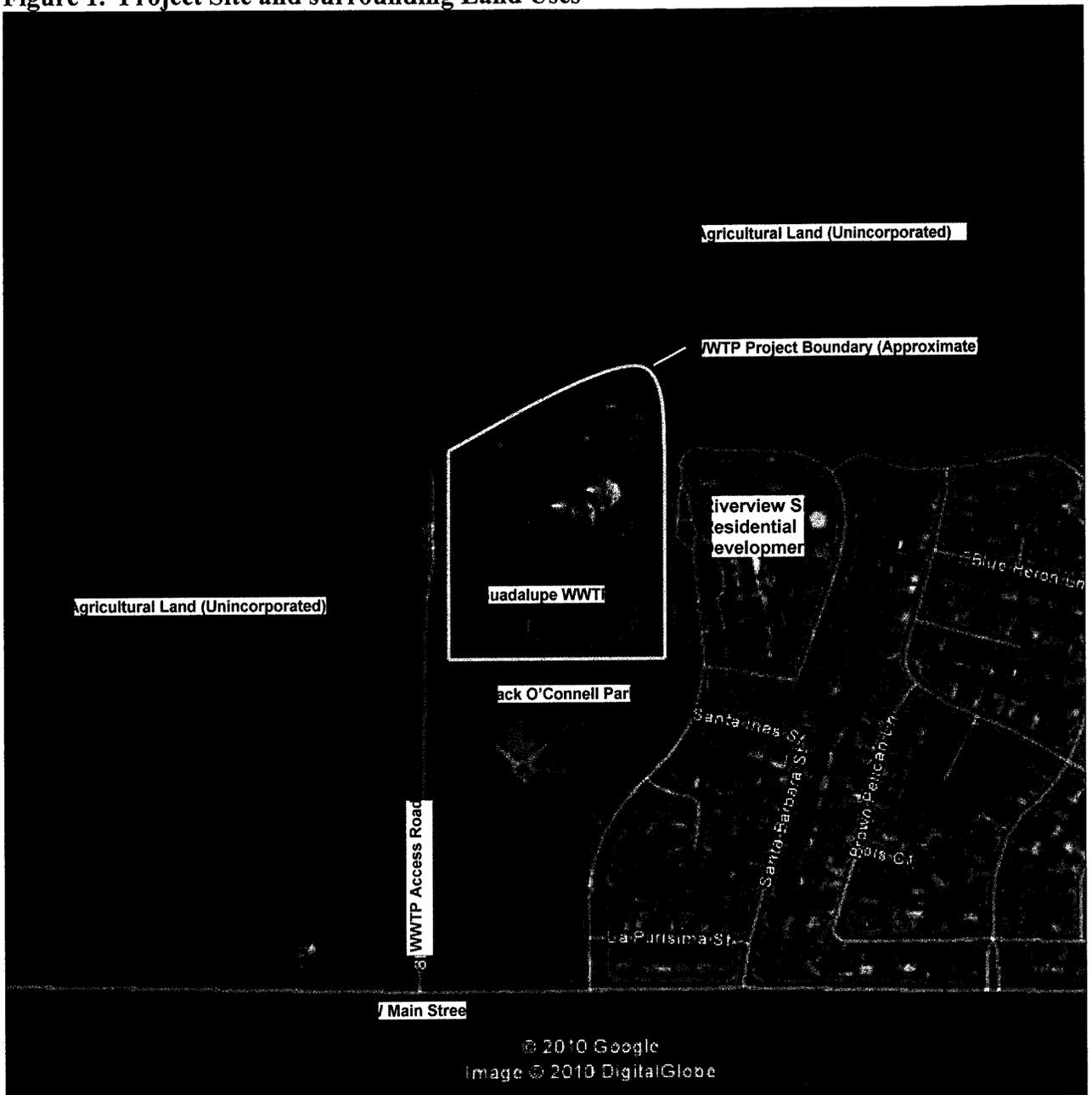
Since 2005, the WWTP has not consistently met the plant's Waste Discharge Requirements. Along with failing infrastructure, there is a potential health risk of exposure of humans and cattle to under-treated wastewater. The existence of a groundwater basin lying below the effluent disposal field creates a concern for long term groundwater quality. Project improvements and maintenance are proposed to protect the health and safety of the operators and the general public in the City of Guadalupe.

In addition, the facilities at the WWTP are in need of rehabilitation. Equipment in the headworks, the grit removal system, and the irrigation pump station require replacement. The proposed process design would address ease of operation and maintenance by City WWTP operators.

Site Information

LOCATION	5125 W. Main Street
APN	113-030-021
ZONING	PF-CZ Public Facility-Coastal Zone
SITE SIZE	12.88 acres
PRESENT USE	Wastewater Treatment Plant
SURROUNDING USES AND ZONING	North: Ag Agriculture East: R/N-SP-CZ Neighborhood Residential-Specific Plan-Coastal Zone West: Ag Agriculture South: R/N-SP-CZ Neighborhood Residential-Specific Plan-Coastal Zone; public park

Figure 1. Project Site and surrounding Land Uses



General Plan/ Local Coastal Program Consistency

The Coastal Zone Element serves as the policy and land use plan component of the Guadalupe Local Coastal Program, and is used in conjunction with the coastal zone provisions of the Guadalupe Zoning Ordinance to carry out the mandates of the Coastal Act within the city. Staff has reviewed the request's conformity to General Plan and Local Coastal Program policies and standards and notes no inconsistencies.

The project is consistent with applicable policies in the City General Plan and would comply with all applicable provisions of the City of Guadalupe Coastal Resource Protection and Development Policies in Chapter III of the Coastal Zone Element. The project site is not located in an area subject to significant geologic, flood, fire hazards, or

bluff stability issues. In addition, the site is not characterized as a visitor destination point. The proposed project would not impact coastal access or result in the conversion of agricultural land. Improvements would be consistent with requirements of the Santa Barbara County Air Pollution Control District, and they are proposed to ensure compliance with the RWQCB's WDR which would improve the quality of coastal water courses (Santa Maria River).

CEQA Review

The proposed project may be found categorically exempt under Section 15301 of the *State Guidelines for the Implementation of the California Environmental Quality Act (CEQA)*. Section 15301 of the *State CEQA Guidelines* states that the operation, repair, maintenance, permitting, or minor alteration of existing public structures, facilities, or mechanical equipment, involving negligible or no expansion of use shall be exempt from the provisions of CEQA.

As mentioned, the proposed improvements to the Guadalupe WWTP are maintenance actions that do not expand the plant or increase its design or permitted capacity. The project is proposed to address ongoing violations of RWQCB requirements. Project improvements and maintenance to the existing facility are proposed to protect the health and safety of the operators and the general public in the City of Guadalupe. Project improvements are limited to the plant site itself and its access driveway and do not result in new significant environmental impacts. As such, the project is determined to be considered categorically exempt from CEQA under Section 15301 of the *State CEQA Guidelines*. A draft Notice of Exemption has been prepared and is included as Attachment 2 to this staff report.

Planning Commission Consideration

The CUP process is set forth in Chapter 18.72 of the City's Zoning Code. The consideration of the project's CUP requires a public hearing. Notices of the pending CUP and Planning Commission public hearing were published in the Santa Maria Times and mailed to all property owners within a 300 foot radius as required by Section 18.73.070.

Planning Commission Action and Next Steps

A resolution to approve the CUP has been prepared and is included as Attachment 1 to this staff report. City staff recommend approval of the resolution. Should the Commission approve the CUP, a 10-day appeal period would run. Following the appeal period, Planning Staff would prepare a Notice of Final Local Action (NOFA) and transmit this to the Coastal Commission district office in Ventura. Upon receipt of the NOFA, Coastal Commission staff has 10 days to review the action and determine if they concur with the action. Once approval of the CUP is finalized (including review for concurrence by Coastal Commission staff), the project would be ready to proceed with other, non-planning permits and approvals (Building Permits, APCD permits, and NPDES requirements, etc.).

ATTACHMENTS:

1. Planning Commission Resolution #2010-003, including Findings (Exh. 1)

2. CEQA Notice of Exemption
3. Site Plan
4. Site Photos

ATTACHMENT 1

Planning Commission Resolution #2010-003

PLANNING COMMISSION RESOLUTION NO. 2010-003

A Resolution of the Planning Commission of the City of Guadalupe Approving a Conditional Use Permit (Planning Application 2010-011-CUP) for the Guadalupe Wastewater Treatment Plan Improvement Project at 5125 W. Main Street

WHEREAS, the City is requesting a Conditional Use Permit (CUP) pursuant to the City's Coastal Zoning Element for repair and maintenance improvements to the existing Guadalupe Wastewater Treatment Plant (WWTP) located at 5125 W. Main Street (APN 113-030-021); and

WHEREAS, these improvements will not add capacity to the existing WWTP and consist of: upgrade to the headworks, conversion of current pond system to an extended aeration design, new sludge handling facilities, upgrade to the existing irrigation pump station, dredging the existing ponds and disposal of solids, and miscellaneous site work; and

WHEREAS, these improvements are needed to address regulatory requirements of the Regional Water Quality Control Board (RWQCB) for the plant's Waste Discharge Requirement (WDR) permit, which was issued on September 9, 2005; and

WHEREAS, the Planning Commission held a duly-noticed public hearing on October 19, 2010, at which all interested persons were given the opportunity to be heard; and

WHEREAS, the Planning Commission has reviewed Planning Application 2010-011-CUP; and,

WHEREAS, the Planning Commission finds that the project is exempt from review of the California Environmental Quality Act pursuant to Section 15301 as an minor alteration to an existing facility; and

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Guadalupe, California as follows:

The Planning Commission does hereby find and determine as follows:

Section 1. The Findings set forth in Exhibit 1 to this Resolution are hereby adopted and incorporated herein by this reference.

Section 2. The CEQA Exemption for Planning Application 2010-011-CUP is accepted.

Section 3. The Planning Commission Secretary shall certify as to the adoption of this Resolution.

UPON MOTION of Commissioner _____ seconded by Commissioner _____ the foregoing Resolution is hereby approved and adopted the 19st day of October 2010, by the following roll call vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

I, **Robert A. Mullane**, Planning Commission Secretary of the City of Guadalupe, **DO HEREBY CERTIFY** that the foregoing Resolution, being **PC Resolution No. 2010-003**, has been duly signed by the Planning Commission Chair at a meeting of the Planning Commission, held October 19, 2010, and that same was approved and adopted.

ATTEST:

Robert A. Mullane, Planning
Commission Secretary

Carl Kraemer, Chair

**EXHIBIT 1
FINDINGS
GUADALUPE WASTEWATER TREATMENT PLAN IMPROVEMENT
CONDITIONAL USE PERMIT
5125 W. MAIN STREET
PLANNING APPLICATION 2010-011-CUP**

1.0 CEQA Findings

The project is classified as a categorical exemption from the California Environmental Quality Act (CEQA) under Class 1, Section 15301 (Existing Facilities) of the *State CEQA Guidelines*. This section states that the operation, repair, maintenance, permitting, or minor alteration of existing public structures, facilities, or mechanical equipment, involving negligible or no expansion of use shall be exempt from the provisions of CEQA.

The proposed improvements to the Guadalupe WWTP are maintenance actions that do not expand the plant or increase its design or permitted capacity. The project is proposed to ensure compliance with RWQCB Waste Discharge Requirements. Project improvements and maintenance to the existing facility are proposed to protect the health and safety of the operators and the general public in the City of Guadalupe. Project improvements are limited to the plant site itself and its access driveway and do not result in new significant environmental impacts. Therefore, the project complies with the findings listed above and may be considered exempt from CEQA under Section 15301 of the State CEQA Guidelines.

2.0 Administrative Findings

Pursuant to City of Guadalupe Municipal Code, Section 18.72.050, a Conditional Use Permit (CUP) shall be approved only if all of the following findings can be made:

- A. That the use will *be consistent with the General Plan*.

The City is requesting a Conditional Use Permit (CUP) for improvements to the Guadalupe Wastewater Treatment Plant (WWTP) located at 5125 W. Main Street. Improvements are to the existing facility and consist of: upgrade to the headworks, conversion of current pond system to an extended aeration design, new sludge handling facilities, upgrade to the existing irrigation pump station, dredging the existing ponds and disposal of solids, and miscellaneous site work.

A Conditional Use Permit (CUP) under the jurisdiction of the Planning Commission is required because the WWTP site is located in the City's Coastal Zone. The City's Coastal Zoning Element, which has been certified by the California Coastal Commission as the City's Local Coastal Program, stipulates that development within the WWTP site requires a CUP. The CUP serves as the Coastal Development Permit, and upon approval, notice of the approval would be provided to Coastal Commission staff for concurrence with the action.

The project is consistent with applicable policies in the City General Plan and would comply with all applicable provisions of the City of Guadalupe Coastal Resource Protection and Development Policies in Chapter III of the Coastal Zone Element. The project site is not located in an area subject to significant geologic, flood, fire hazards, or bluff stability issues. In addition, the site is not characterized as a visitor destination point. The proposed project would not impact coastal access or result in the conversion of agricultural land. Improvements would be consistent with requirements of the Santa Barbara County Air Pollution Control District, and they are proposed to ensure compliance with the RWQCB's WDR which would maintain the quality of coastal water courses such as the Santa Maria River. For these reasons, the use is determined to be consistent with the General Plan.

- B. That the use will not *be detrimental to the health, safety, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use, or whether it will be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the city.*

Over the last few years, the WWTP has not consistently met the requirements set forth in the plant's Waste Discharge Requirement (WDR) permit of the Regional Water Quality Control Board (RWQCB). Project improvements and maintenance are proposed to protect the health and safety of the operators and the general public in the City of Guadalupe, by ensuring that the requirements of the plant's WDR are met. Meeting these requirements would prevent exposure of humans and cattle to under-treated wastewater effluent and would also prevent impacts to groundwater quality of the underlying groundwater basin.

The facilities at the WWTP are in need of rehabilitation. Equipment in the headworks, the grit removal system, and the irrigation pump station require replacement. The proposed process design would address ease of operation and maintenance by City WWTP operators. Such project improvements would not be injurious or detrimental to property or the neighborhood or general welfare of the City, but rather would be beneficial.

ATTACHMENT 2

CEQA Notice of Exemption



CITY OF GUADALUPE, CALIFORNIA

NOTICE OF EXEMPTION GUADALUPE WASTEWATER TREATMENT PLANT IMPROVEMENT PROJECT CONDITIONAL USE PERMIT

**TO: Clerk of the Board
County of Santa Barbara
105 E. Anapamu St., Rm. 407
Santa Barbara, CA 93101**

**FROM: City of Guadalupe
918 Obispo Street
Guadalupe, CA 93434**

PROJECT TITLE AND DESCRIPTION

**Guadalupe Wastewater Treatment Plant Improvement Project Conditional Use Permit
5125 W. Main Street, Guadalupe, CA 93434
APN: 113-030-021
Case No. 2010-011-CUP**

The City has proposed making improvements to the Guadalupe Wastewater Treatment Plant (WWTP). Improvements are to the existing facility and consist of: an upgrade to the headworks, conversion of current pond system to an extended aeration design, new sludge handling facilities, an upgrade to the existing irrigation pump station, dredging the existing ponds and disposal of solids, and miscellaneous site work. The access road to the facility will also be repaved to provide an improved, all-weather access to the plant. These improvements do not increase the capacity to the existing WWTP above permitted levels. The improvements are needed to address regulatory requirements of the Regional Water Quality Control Board (RWQCB) for the plant's waste discharge requirements. The current plant has a design capacity of 0.96 MGD, which is adequate to meet the needs of the City's projected growth for the next 20 years.

FINDING

The Planning Department of the City of Guadalupe has reviewed the above proposed project and found it to be exempt from the provisions of the California Environmental Quality Act (CEQA).

- Ministerial Project
- Categorical Exemption [CEQA Guidelines, Section 15301]
- Statutory Exemption
- Emergency Project
- Disapproval [CEQA Guidelines, Section 15270]
- No Possibility of Significant Effect [CEQA Guidelines, Section 15061(b)(3)]

SUPPORTING REASONS

The proposed project may be found categorically exempt under Section 15301 of the State Guidelines for the Implementation of the California Environmental Quality Act. Section 15301 includes projects characterized as existing facilities. This section states that the operation, repair, maintenance, permitting, or minor alteration of existing public structures, facilities, or mechanical equipment, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination shall be exempt from the provisions of CEQA.

As mentioned, the proposed improvements to the Guadalupe WWTP involve facility maintenance and equipment replacement activities that do not add capacity to the existing WWTP. Miscellaneous site work would include replacement of the existing standby emergency generator and 300 gallon, above ground diesel fuel tank. The existing standby emergency generator and associated fuel tank would be replaced with a new generator. The new fuel tank would have a capacity of approximately 300-400 gallons, with sub-base and double-walled fuel storage tank with leak detection. These improvements would meet APCD and Fire Department requirements and standards, and the new diesel fuel tank would be sub-base, double wall with fuel leak detection and of similar capacity.

Since 2005, the WWTP has not consistently met the plant's Waste Discharge Requirements (WDR). Project improvements and maintenance to the existing facility are proposed to protect the health and safety of the operators and the general public in the City of Guadalupe. In bringing the WWTP into compliance with WDR, the project would address potential health risks of exposure of humans and cattle to under treated wastewater. The project would also address potential impacts to long-term groundwater quality associated with the underlying groundwater basin. The project site is not located in an area subject to significant geologic, flood, fire hazards, or bluff stability issues. Therefore, the project complies with the requirements listed above and is exempt from the California Environmental Quality Act under Section 15301 of the CEQA Guidelines.

Robert Mullane
City Planner

Phone

Date

ATTACHMENT 3

Site Plan

P:\01.Engineering\Guadalupe, City of\6576-Wastewater Treatment Plant\06 Design Data\CAD6576.dwg\6576 Plant Layout - TMI_recover 4/20/2010 3:59 PM

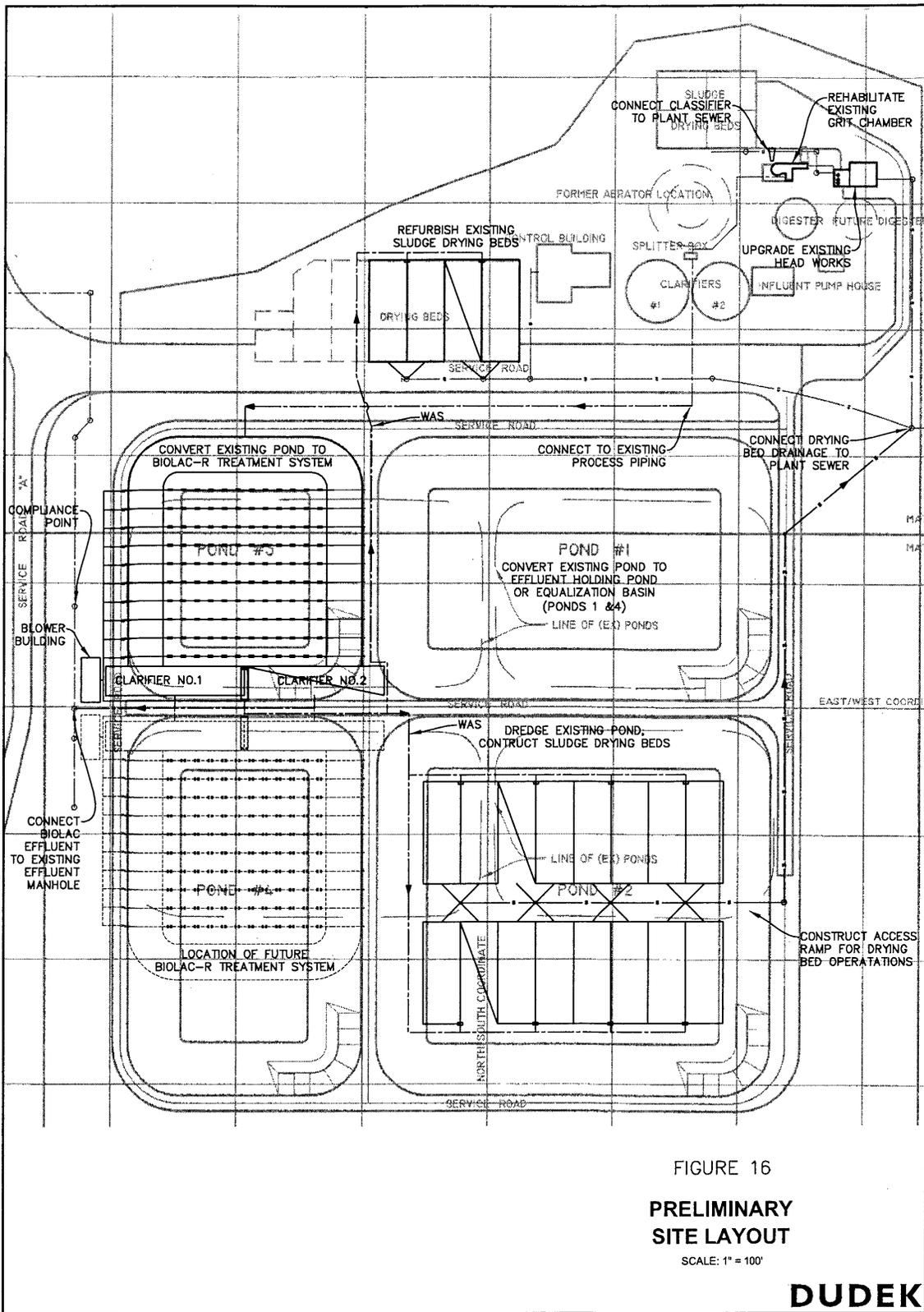


FIGURE 16
PRELIMINARY
SITE LAYOUT
SCALE: 1" = 100'

DUDEK

ATTACHMENT 4

Site Photos

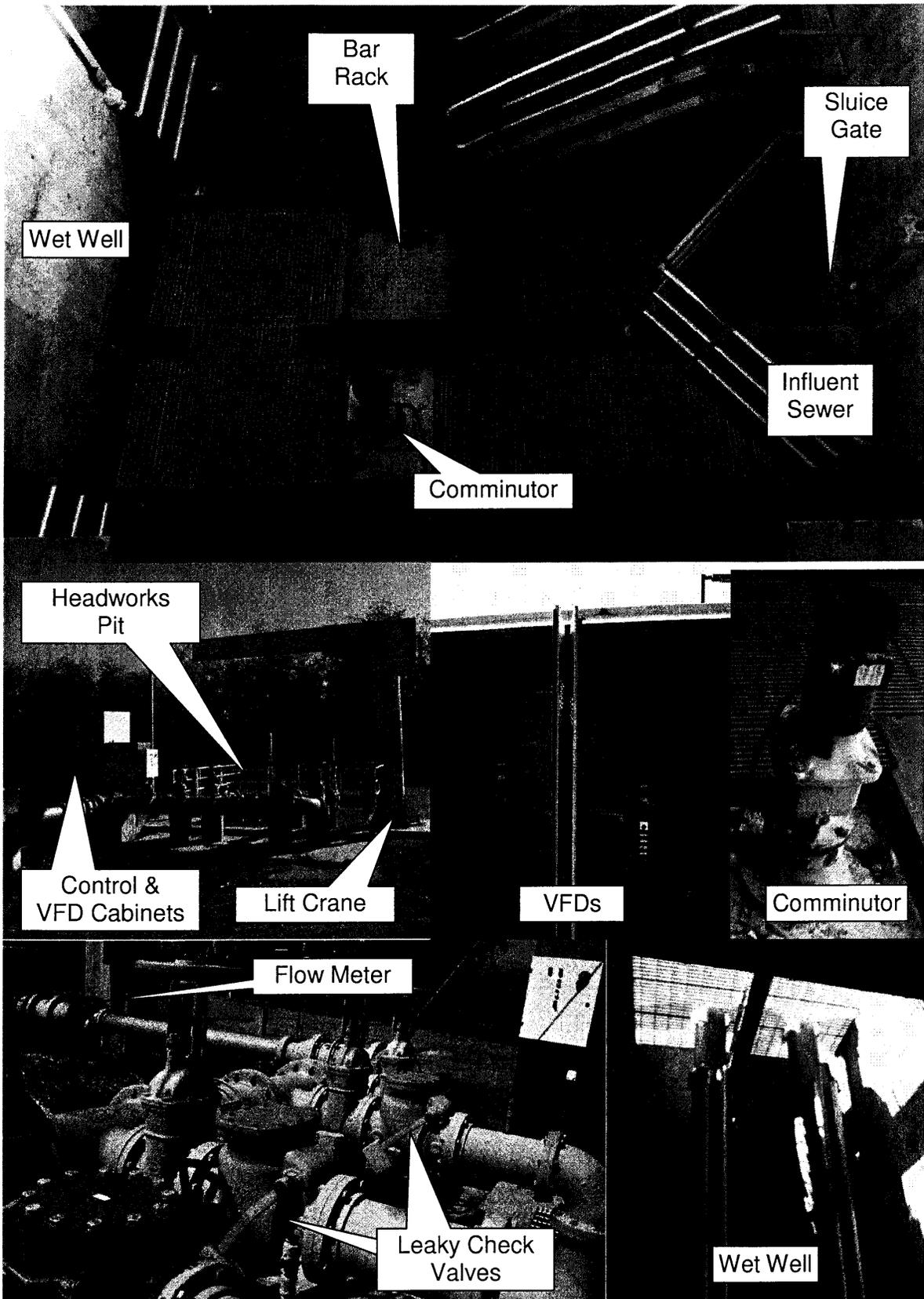


Figure 3 – Condition of Headworks

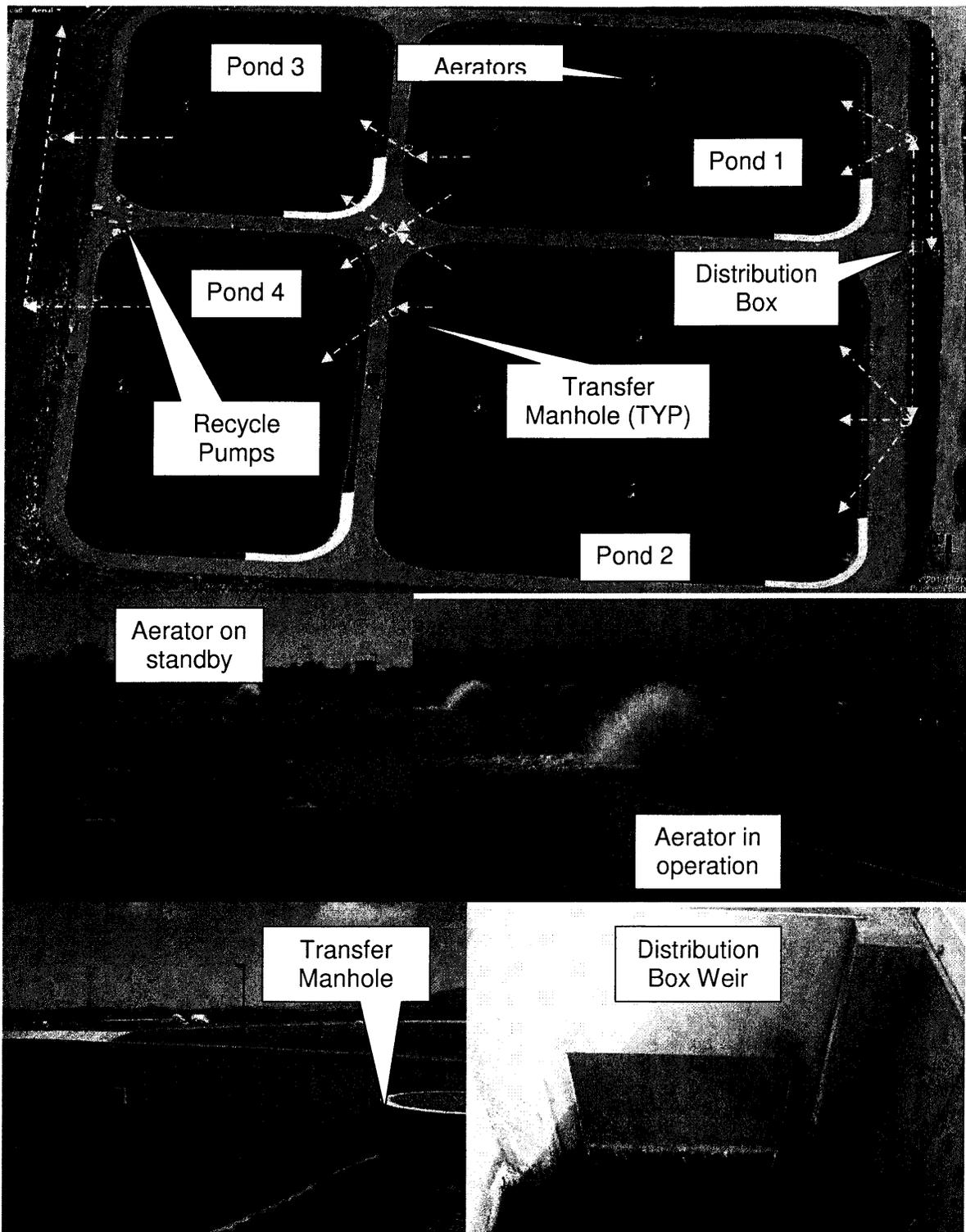


Figure 5 – Condition of AIPS

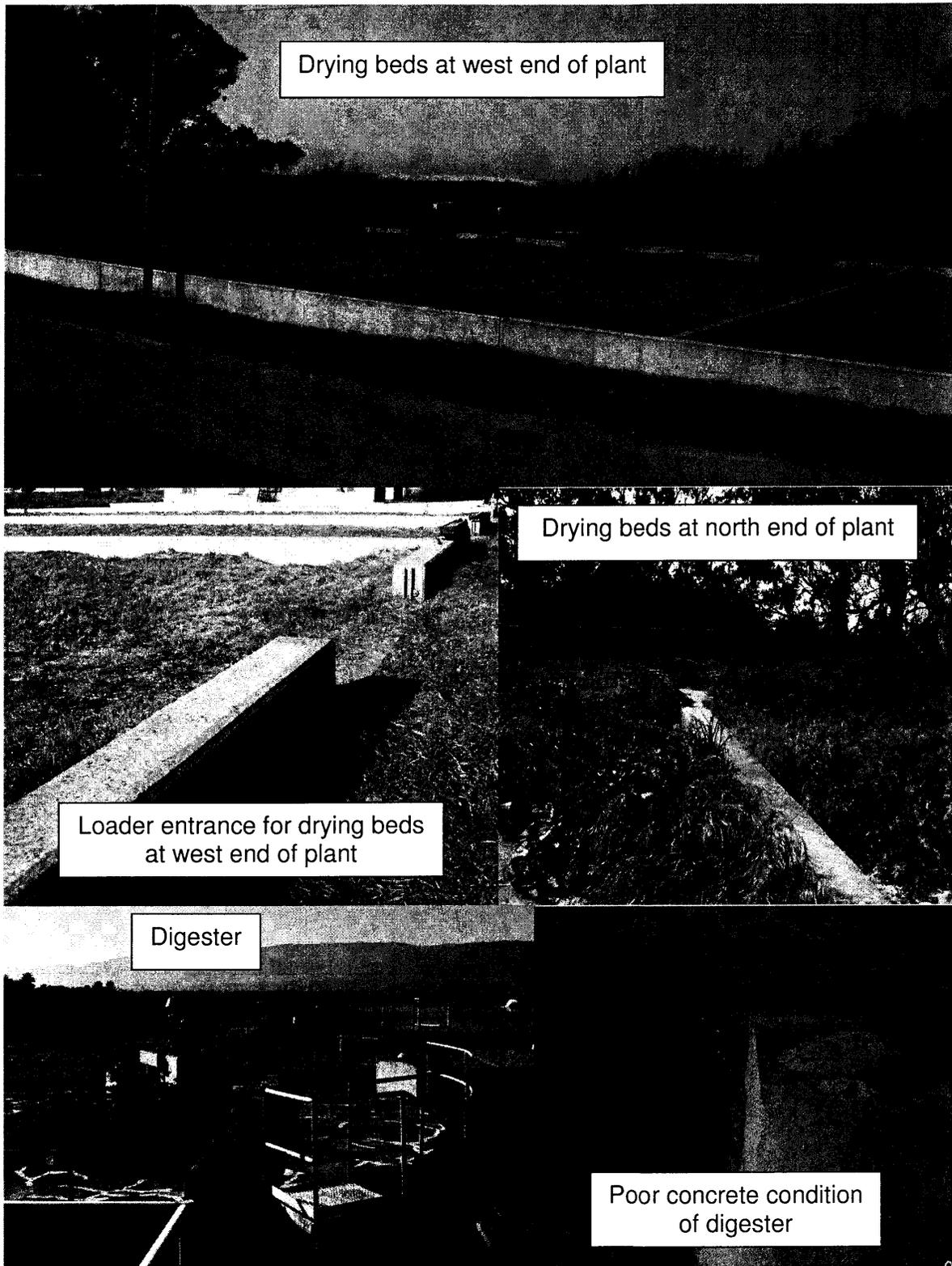
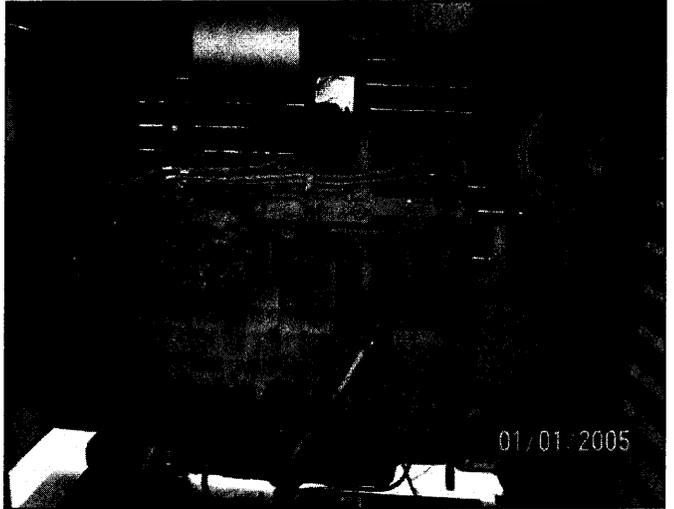
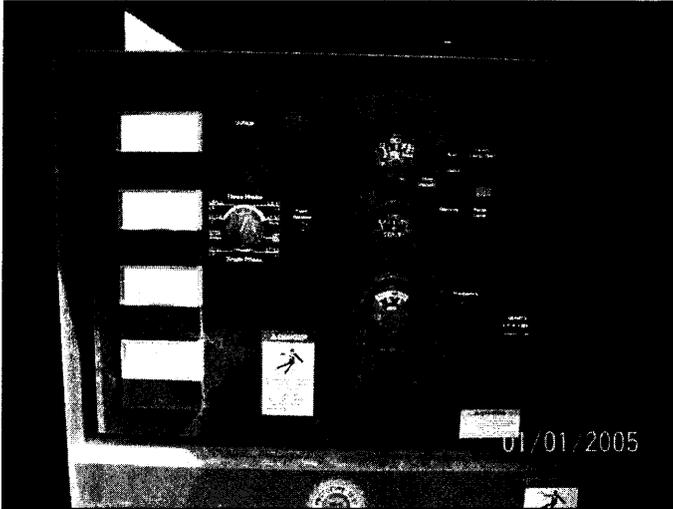
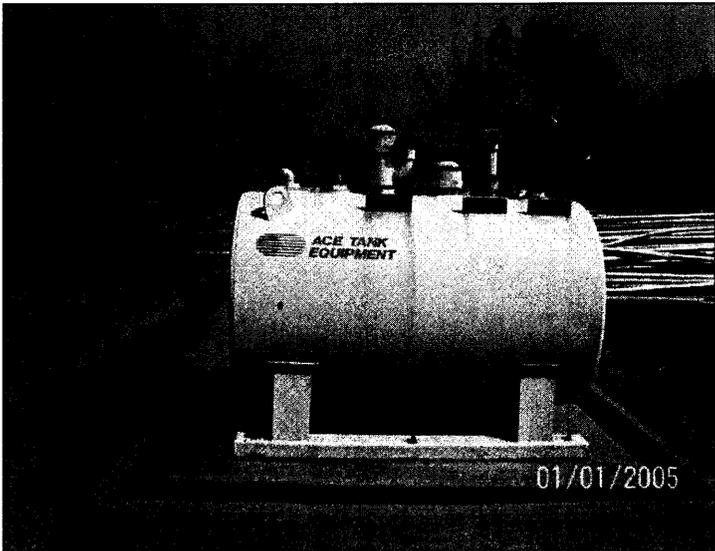


Figure 6 – Condition of Sludge Handling Facilities



Existing Backup Generator



Existing Diesel Fuel Storage Tank for Backup Generator

REPORT TO THE PLANNING COMMISSION

October 19, 2010

151

Prepared By:
Rob Mullane, City Planner

Approved By:
Regan Candelario,
City Administrator

SUBJECT: Planning Commission Project Review Workshop

EXECUTIVE SUMMARY AND BACKGROUND:

The Planning Commission has requested that staff provide an opportunity to review projects that recently received Planning Commission approval. Review of such recently-approved projects provides an opportunity for the Commission to check on the status of these projects. For this evening's Planning Commission meeting, staff has brought the following three recent projects to the Planning Commission:

- Hernandez Residential Addition (4468 Amber Street); Design Review Permit approved on January 20, 2009
- Apio Expansion; Lot Line Adjustment and Design Review Permit approved on April 21, 2009
- Plaza de Guadalupe Sign; Design Review Permit approved on August 18, 2009

RECOMMENDATION:

- 1) Review report from staff
- 2) Allow for discussion on projects and status presented by staff

DISCUSSION:

This workshop will provide an opportunity to review of three projects recently approved projects:

- 1) The Hernandez Residential Addition is located at 4468 Amber Street. The project consisted of a 1,213-sq.ft. second-story addition to an existing ~1,200 sq. ft. single-story home. In addition, the application included a kitchen remodel. One of the issues considered in the Design Review process was privacy concerns with adjacent properties.
- 2) The Apio Expansion is located at 4595 West Main Street. The project consisted of a 19,500-sq.ft. expansion of the raw product and cold storage facilities. Some of the issues considered in this project were the adequacy of the proposed landscaping, fencing, and a general desire to improve the aesthetics of the site.

- 3) The Plaza de Guadalupe sign is located at 4723 West Main Street. The sign is approximately 60 sq. ft. in area and is illuminated. The Commission also reviewed the location of other signage on the site.

ATTACHMENTS:

- 1) Hernandez Addition Site Plans
- 2) Hernandez Addition Site Photos – Before
- 3) Hernandez Addition Site Photos – After
- 4) Apio Expansion Site Plans
- 5) Apio Expansion Elevations
- 6) Apio Expansion Landscaping Plans
- 7) Apio Expansion Site Photos – Before
- 8) Apio Expansion Site Photos – After
- 9) Plaza de Guadalupe Site Plan
- 10) Plaza de Guadalupe Sign Dimensions
- 11) Plaza de Guadalupe Simulation
- 12) Plaza de Guadalupe Site Photos – After

AGENDA ITEM:

Project Review Workshop
Staff Report

**Hernandez Residential Addition
Attachments (1-3)**

GENERAL CONSTRUCTION NOTES

STRUCTURAL
 1. ALL CONCRETE SHALL BE CAST IN PLACE AND SHALL BE FINISHED WITH A BROOM FINISH UNLESS OTHERWISE NOTED.
 2. ALL CONCRETE SHALL BE CAST WITH A MINIMUM OF 4" REINFORCING BARS.
 3. ALL CONCRETE SHALL BE CAST WITH A MINIMUM OF 4" REINFORCING BARS.
 4. ALL CONCRETE SHALL BE CAST WITH A MINIMUM OF 4" REINFORCING BARS.
 5. ALL CONCRETE SHALL BE CAST WITH A MINIMUM OF 4" REINFORCING BARS.

LIFE SAFETY
 1. ALL STAIRS SHALL BE CONFORM TO THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (IBC).
 2. ALL STAIRS SHALL BE CONFORM TO THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (IBC).
 3. ALL STAIRS SHALL BE CONFORM TO THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (IBC).
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 5. ALL STAIRS SHALL BE CONFORM TO THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (IBC).

AREAS	EXISTING	NEW AREA	TOTAL
LIVING AREA	15,000 SQ. FT.	4,500 SQ. FT.	19,500 SQ. FT.
2 CAR GARAGE	4,500 SQ. FT.	0.00 SQ. FT.	4,500 SQ. FT.
PORCH AREA	7,000 SQ. FT.	0.00 SQ. FT.	7,000 SQ. FT.
SQUARE FOOTAGE			

WALLS AND CEILINGS
 1. INTERIOR PARTS OF BRICK SHALL BE PLACED ON THE FIRE FLAG SIDE OF THE WALL.
 2. INTERIOR PARTS OF BRICK SHALL BE PLACED ON THE FIRE FLAG SIDE OF THE WALL.

ROOF
 1. ROOF SHALL BE CONFORM TO THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (IBC).
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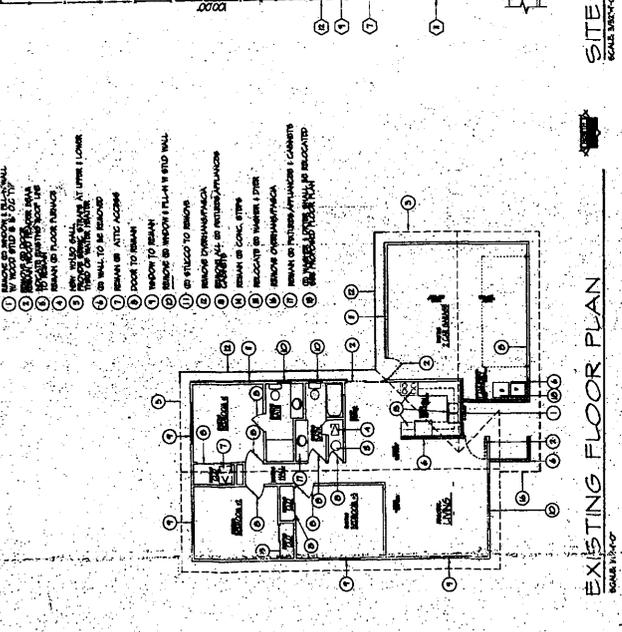
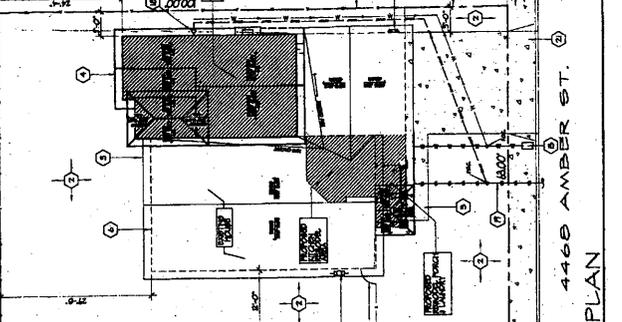
GENERAL CONSTRUCTION NOTES
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NO.	DATE	DESCRIPTION
1	08-21-09	ISSUED FOR PERMITS
2	09-01-09	ISSUED FOR PERMITS
3	09-01-09	ISSUED FOR PERMITS
4	09-01-09	ISSUED FOR PERMITS
5	09-01-09	ISSUED FOR PERMITS
6	09-01-09	ISSUED FOR PERMITS
7	09-01-09	ISSUED FOR PERMITS
8	09-01-09	ISSUED FOR PERMITS
9	09-01-09	ISSUED FOR PERMITS
10	09-01-09	ISSUED FOR PERMITS

GENERAL NOTES
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 5. ALL CONSTRUCTION SHALL BE CONFORM TO THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (IBC).

WALL LEGEND
 1. 8" CMU WITH 1/2" REINFORCING BARS
 2. 8" CMU WITH 1/2" REINFORCING BARS
 3. 8" CMU WITH 1/2" REINFORCING BARS
 4. 8" CMU WITH 1/2" REINFORCING BARS
 5. 8" CMU WITH 1/2" REINFORCING BARS

NO.	DESCRIPTION
1	8" CMU WITH 1/2" REINFORCING BARS
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7	8" CMU WITH 1/2" REINFORCING BARS
8	8" CMU WITH 1/2" REINFORCING BARS
9	8" CMU WITH 1/2" REINFORCING BARS
10	8" CMU WITH 1/2" REINFORCING BARS



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PROJECT NAME	HERRNDEZ ROOM ADDITION & KITCHEN REMODEL
OWNER NAME	JORGE HERRNDEZ
OWNER ADDRESS	4444 AVE 61 SAN JOSE, CA 95124
DATE	03-21-03
SCALE	2000-05
SHEET NO.	A-2

ATTIC VENT CALCS.

VENT TYPE	AREA (SQ. FT.)	CFM PER SQ. FT.	TOTAL CFM
ROOF VENT	111.0	1.0	111.0
WALL VENT	10.0	1.0	10.0
TOTAL	121.0		121.0

HEATING FIXTURES

1. ALL HEATING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

2. ALL HEATING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE.

3. ALL HEATING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE.

SYMBOLS LEGEND

1. ALL DIMENSIONS ARE IN FEET AND INCHES.

2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

3. ALL DIMENSIONS ARE TO CENTER UNLESS OTHERWISE NOTED.

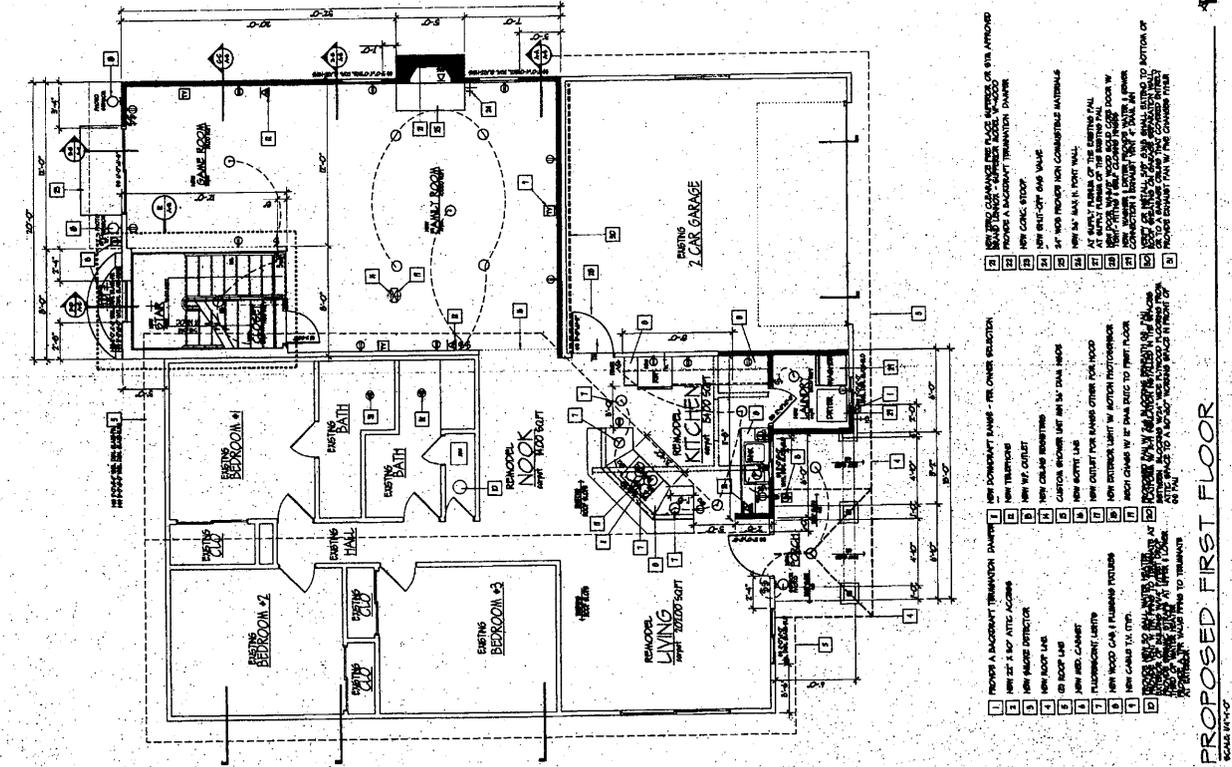
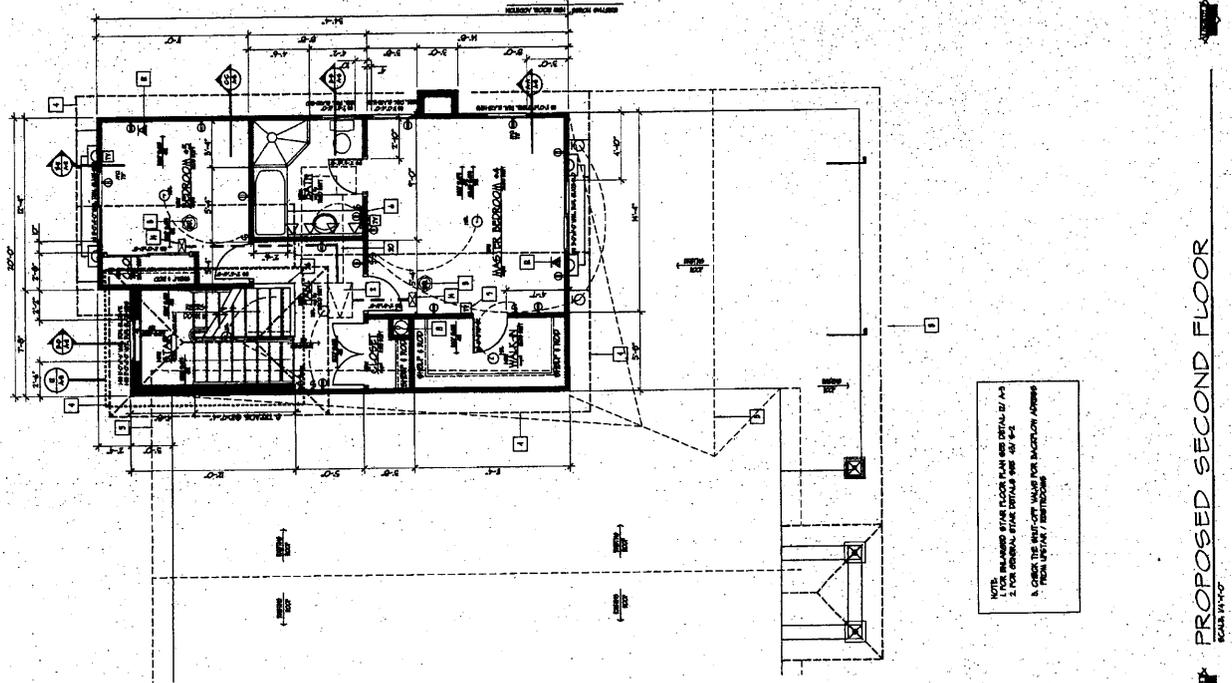
4. ALL DIMENSIONS ARE TO THE CENTERLINE UNLESS OTHERWISE NOTED.

5. ALL DIMENSIONS ARE TO THE OUTSIDE UNLESS OTHERWISE NOTED.

6. ALL DIMENSIONS ARE TO THE INSIDE UNLESS OTHERWISE NOTED.

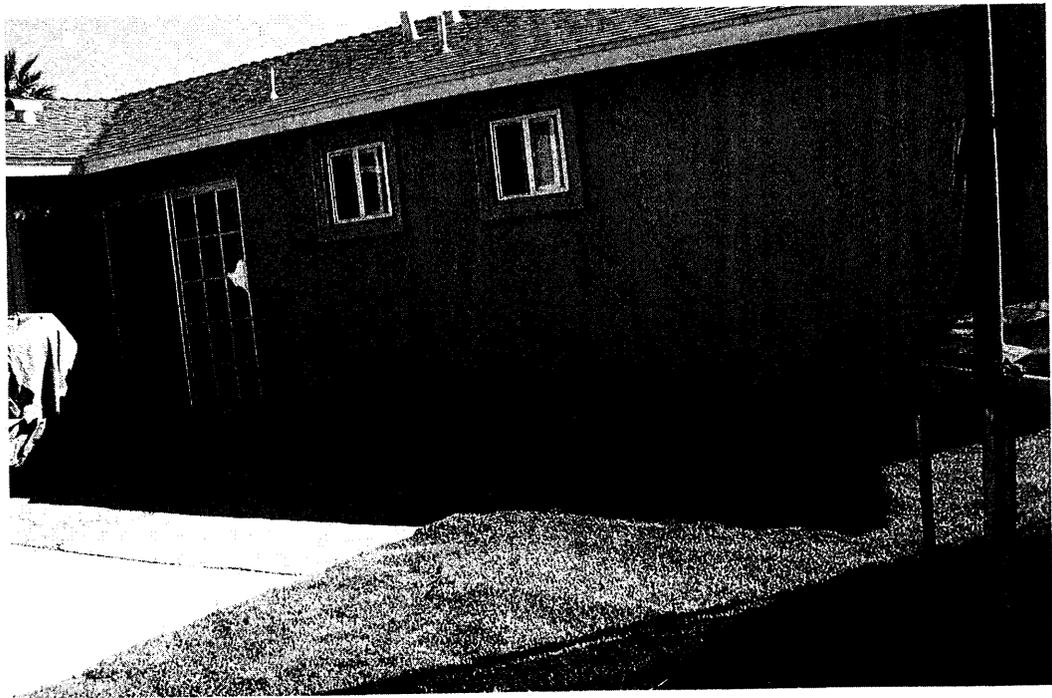
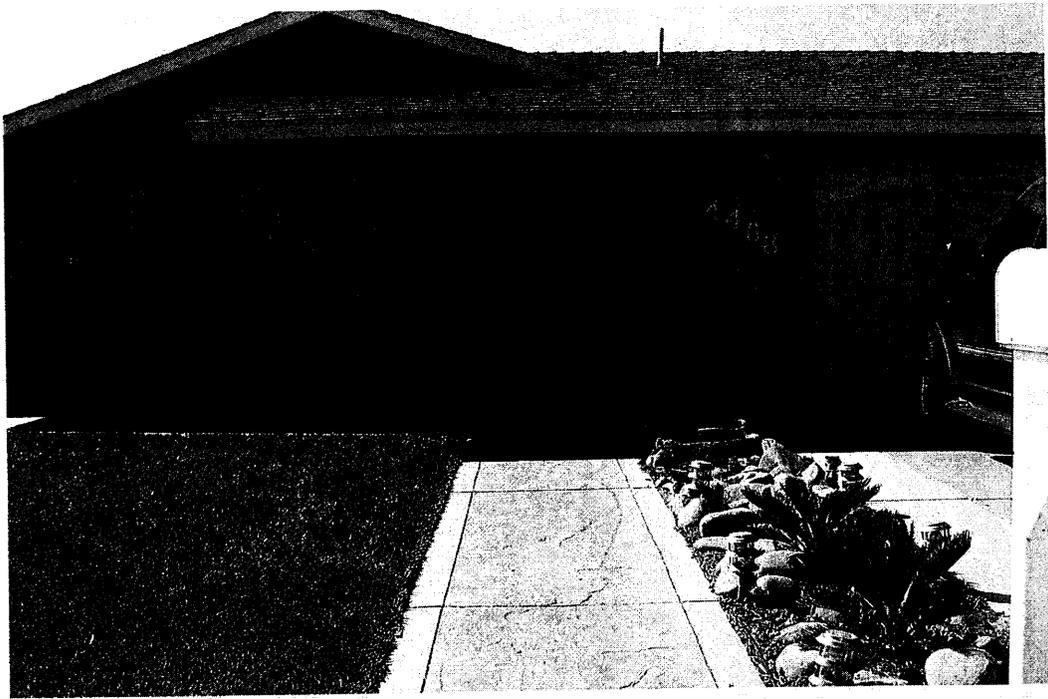
WALL LEGEND

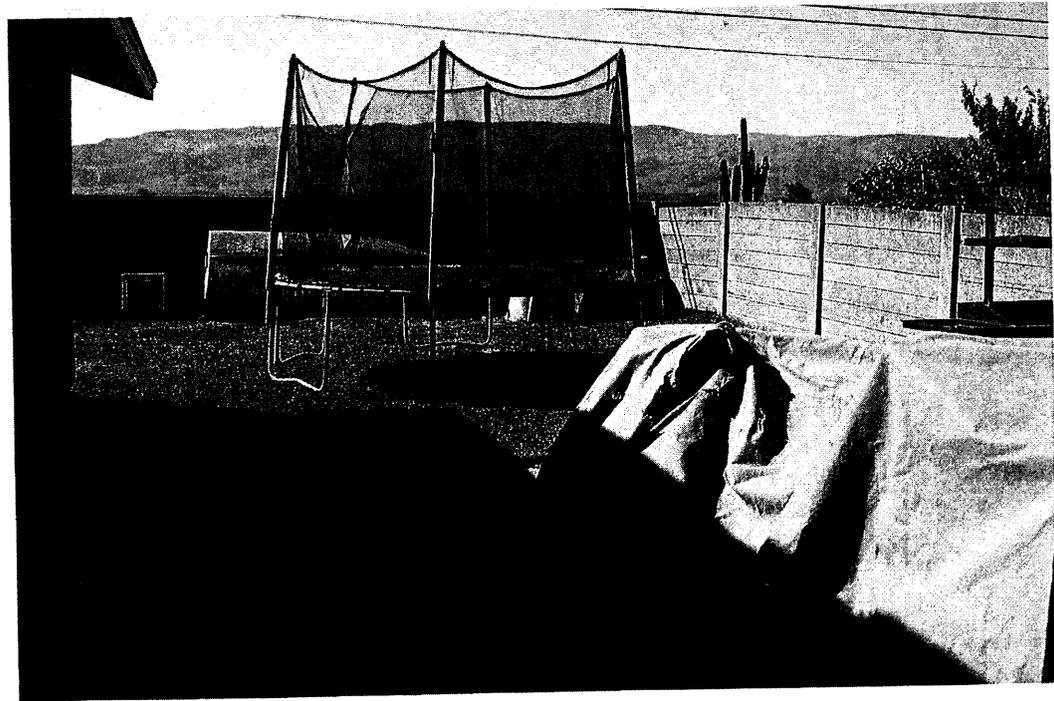
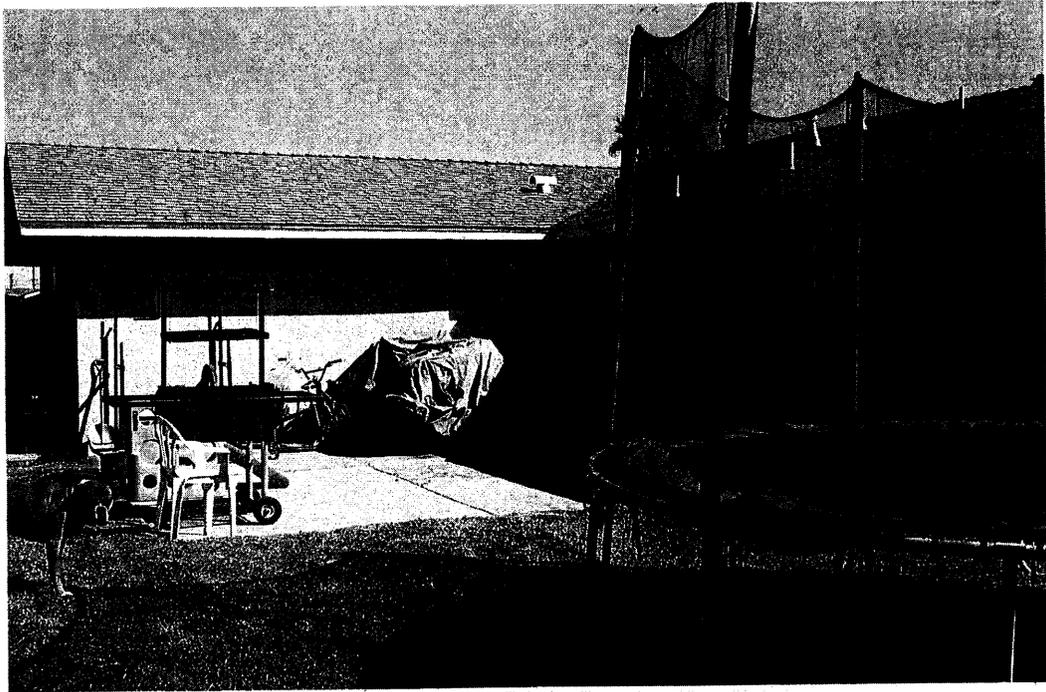
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7	3" GYPSUM BOARD
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9	4" GYPSUM BOARD
10	4 1/2" GYPSUM BOARD
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12	5 1/2" GYPSUM BOARD
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14	6 1/2" GYPSUM BOARD
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20	9 1/2" GYPSUM BOARD
21	10" GYPSUM BOARD
22	10 1/2" GYPSUM BOARD
23	11" GYPSUM BOARD
24	11 1/2" GYPSUM BOARD
25	12" GYPSUM BOARD



PROPOSED SECOND FLOOR
SCALE: 1/8"=1'-0"

PROPOSED FIRST FLOOR
SCALE: 1/8"=1'-0"



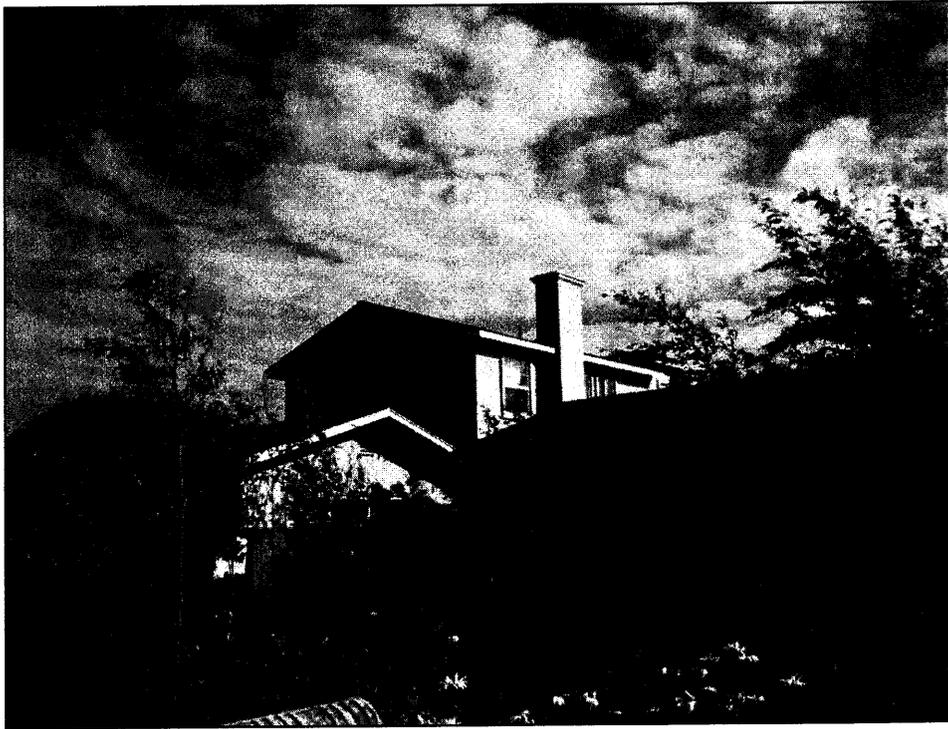




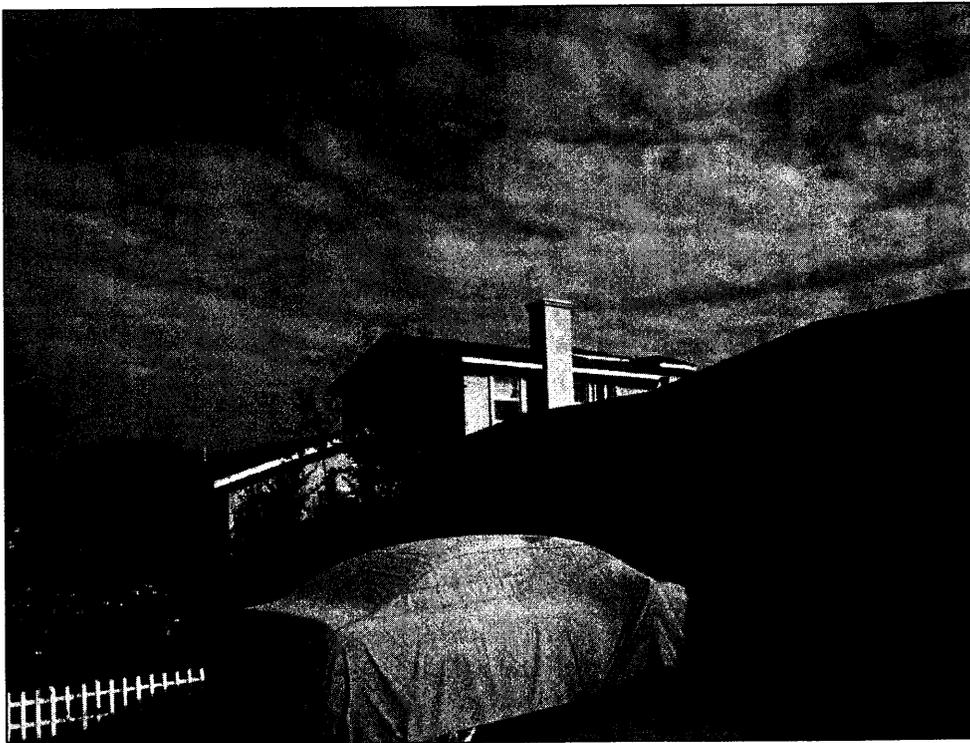
Front view of Hernandez Residence.



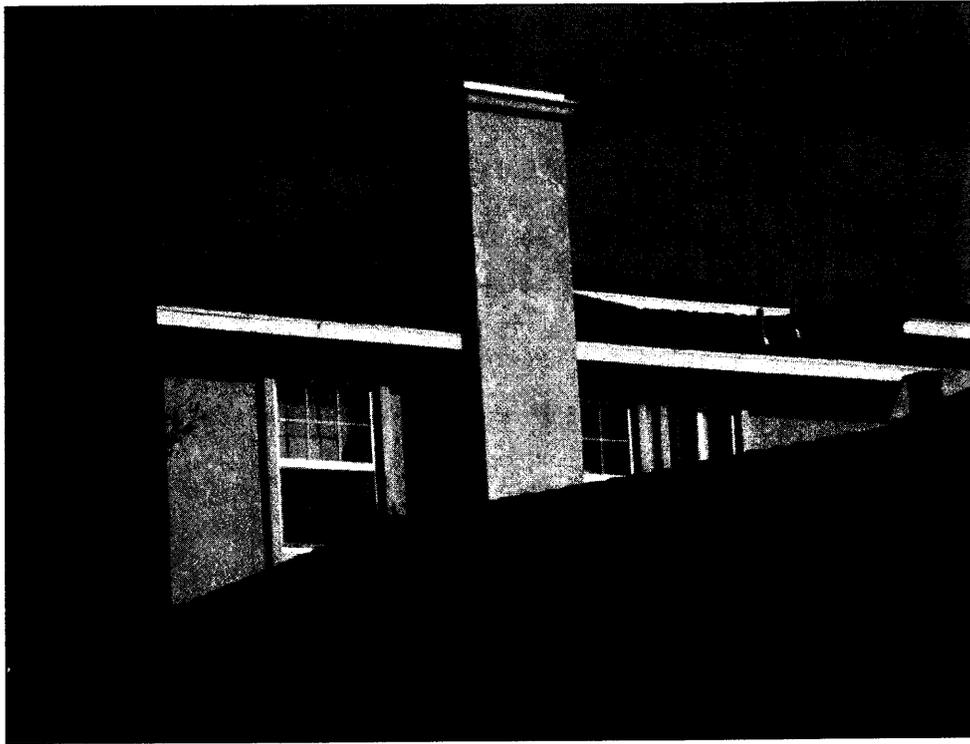
Northeastern view of Hernandez Residence.



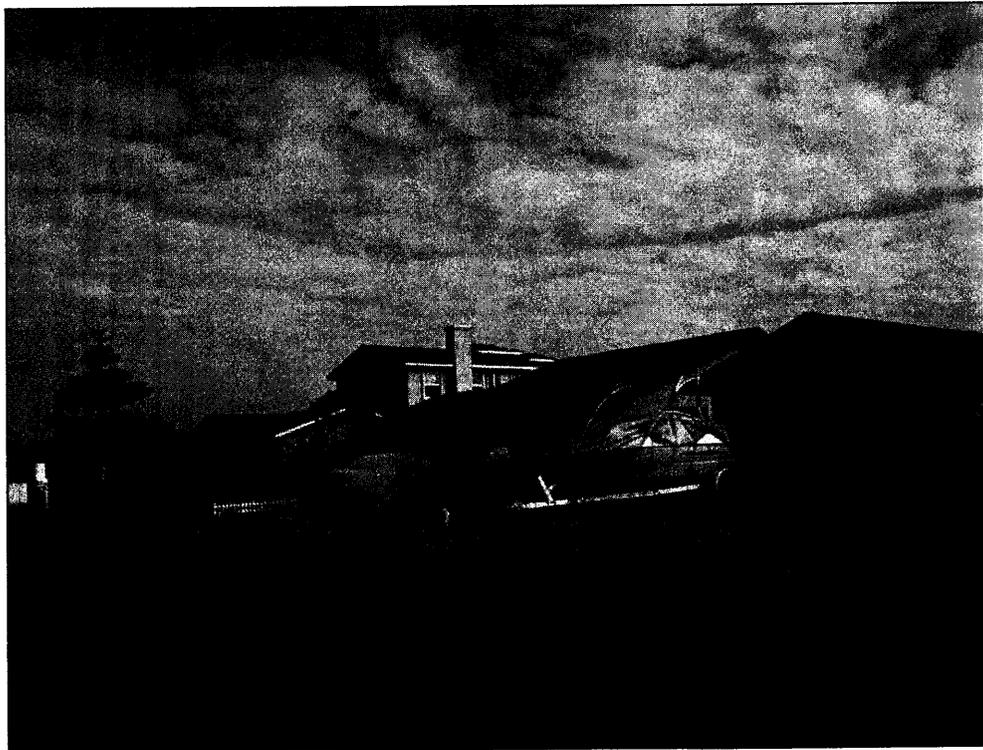
Western view #1 of the Hernandez Residence second story.



Western view #2 of Hernandez Residence second story.



View of second story western windows of Hernandez Residence.



Western street view of Hernandez Residence.



Southern view of Hernandez Residence from Main Street.



Southwestern view of Hernandez Residence from Main Street.

Project Review Workshop
Staff Report

**Apio Expansion
Attachments (4-8)**

PLEINAIRE

DESIGN GROUP

124 West Main Street, Suite F
Santa Ana, California 92701-1610
R/LA 9249

Phone: 949.349.9695 Fax: 949.328.1889
www.pleinaire.com



THE PLANNING, DESIGN, ENGINEERING AND CONSTRUCTION OF LANDSCAPE ARCHITECTURE PROJECTS ARE THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER. THE REGISTERED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE REGISTERED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

APIO COOLING EXPANSION

4595 WEST MAIN STREET
GUADALUPE, CA 93434

Client:
APIO, INC. INCORPORATED
P.O. BOX 737
GUADALUPE, CA 93434
805.343.2885

DATE: 02.21.09
DESIGN REVIEW SUBMITTAL: 02.10.09
DATE: 02.10.09
DATE: 02.10.09
DATE: 02.10.09

EXISTING & PROPOSED AREA PLANTING PLAN 'B'

Project No.: 28041
Date: 10.29.08

CL-2

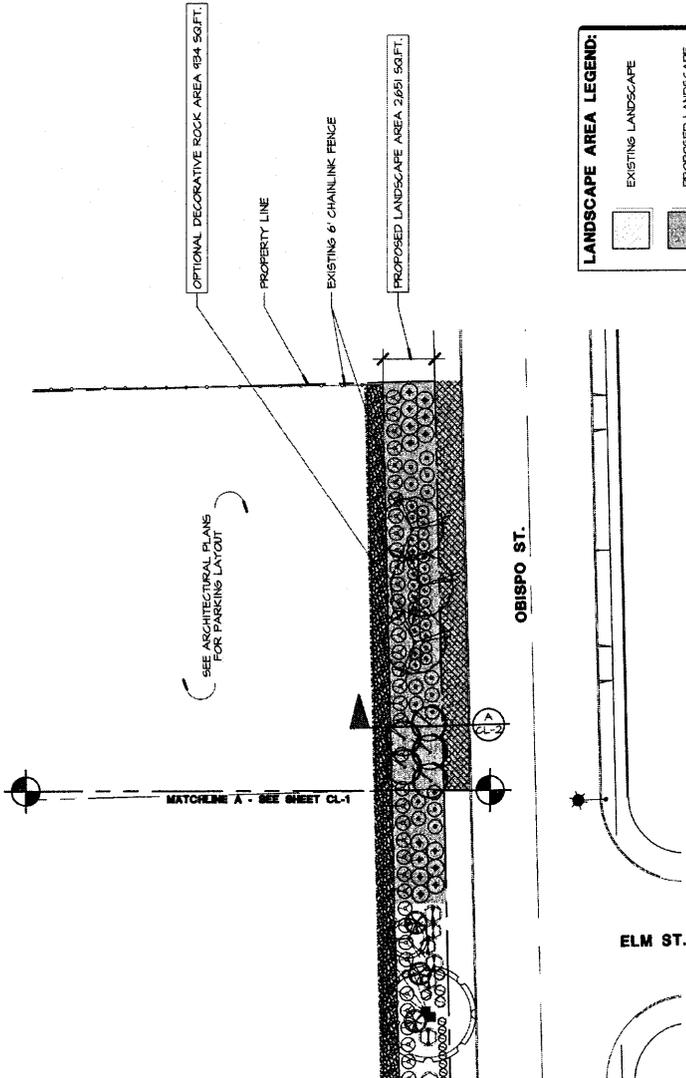
- GENERAL NOTES:**
- EXISTING IRRIGATION SYSTEMS TO REMAIN IN PLACE. ALL NEW IRRIGATION SYSTEMS SHALL BE INSTALLED AS PART OF THE IRRIGATION TO BE CONNECTED TO THE EXISTING IRRIGATION SYSTEM. ALL NEW IRRIGATION SYSTEMS SHALL BE INSTALLED AS PART OF THE IRRIGATION TO BE CONNECTED TO THE EXISTING IRRIGATION SYSTEM. ALL NEW IRRIGATION SYSTEMS SHALL BE INSTALLED AS PART OF THE IRRIGATION TO BE CONNECTED TO THE EXISTING IRRIGATION SYSTEM.
 - ALL PLANTING AND IRRIGATION SHALL BE INSTALLED PER THE CITY OF GUADALUPE LANDSCAPE AND DRAINAGE INFORMATION SEE PLANS BY OTHERS. ALL PLANTING AND IRRIGATION SHALL BE INSTALLED PER THE CITY OF GUADALUPE LANDSCAPE AND DRAINAGE INFORMATION SEE PLANS BY OTHERS.
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PROPOSED LANDSCAPE AREA PLANT LEGEND:

	TREES
	CALLISTEMON VIMINALIS; MINIMUM SIZE: 15 GAL.
	KEEPING BOTTLEBRUSH; MINIMUM SIZE: 15 GAL.
	CYPERUS MACROCARPA; MINIMUM SIZE: 15 GAL.
	MONTEREY CYPRESS; MINIMUM SIZE: 15 GAL.
	SHRUBS
	CARISSA MACROCARPA PROSTRATA; MINIMUM SIZE: 5 GAL.
	NATAL PLUM; MINIMUM SIZE: 5 GAL.
	CISTUS X SKANBERGII; MINIMUM SIZE: 5 GAL.
	MELALEUCA NESOPHILA; MINIMUM SIZE: 5 GAL.
	PINK MELALEUCA; MINIMUM SIZE: 5 GAL.
	RHUS INTEGRIFOLIA; MINIMUM SIZE: 5 GAL.
	LEMONADE BERRY; MINIMUM SIZE: 5 GAL.
	GROUNDCOVER
	BARK MULCH

LANDSCAPE AREA LEGEND:

	EXISTING LANDSCAPE
	PROPOSED LANDSCAPE

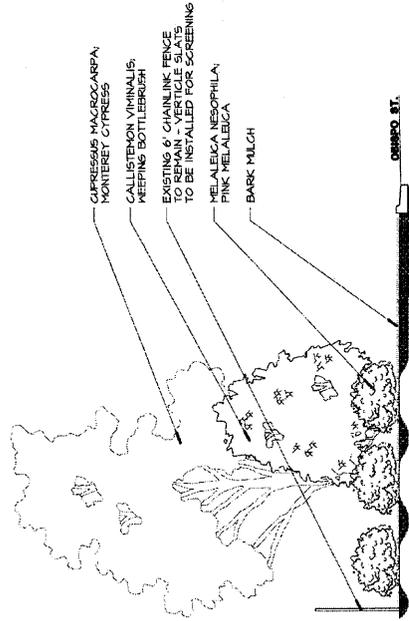
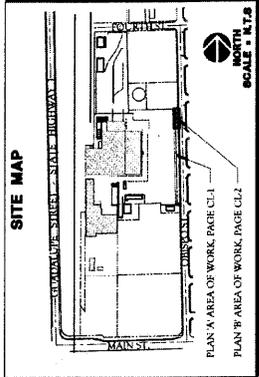


EXISTING & PROPOSED AREA PLANTING PLAN 'B'



SAMPLE FENCING STYLE W/ SLATS FOR SCREENING

UNDERGROUND SERVICE ALERT
CALL: 811 OR 1-800-425-4133
48 HOURS BEFORE YOU DIG



PROPOSED SECTION - A-



RAVATI ARCHITECT & ASSOCIATES, INC.
 10000 WILSON AVENUE, SUITE 100
 SAN DIEGO, CALIFORNIA 92121
 TEL: 619-594-9000
 FAX: 619-594-9001
 WWW: WWW.RAVATIARCHITECT.COM

CONTRACTOR
 PROJECT NO. 02/28/2008
 SHEET NO. 31

PROJECT
 APO Cooling Expansion
 PLANNING RESUBMITTAL
 Oceanside, CA 92054

SHEET TITLE
 CITY APPROVED
 PLANNING RESUBMITTAL
 02/28/2008

CONTRACTOR
 PROJECT NO. 02/28/2008
 SHEET NO. 31

DATE: 02/28/2008
 DESIGNER:
 CHECKED:
 EXAMINED: J. R. RAVATI
 SCALE: AS SHOWN

DATE: 02/28/2008
 DESIGNER:
 CHECKED:
 EXAMINED: J. R. RAVATI
 SCALE: AS SHOWN

DATE: 02/28/2008
 DESIGNER:
 CHECKED:
 EXAMINED: J. R. RAVATI
 SCALE: AS SHOWN

DATE: 02/28/2008
 DESIGNER:
 CHECKED:
 EXAMINED: J. R. RAVATI
 SCALE: AS SHOWN



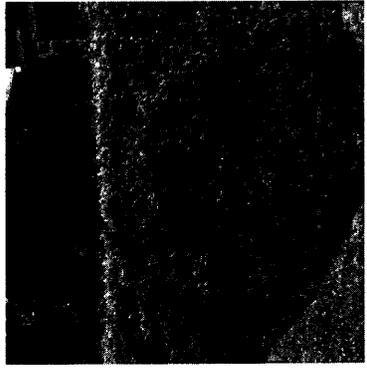
Cistus x atanbergii - Hybrid Rockrose



Pittosporum crassifolium - Karo



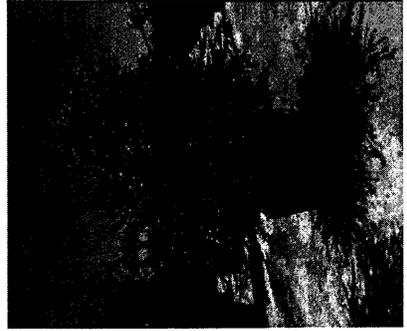
Rhus integrifolia - Lemonade Berry (close-up)



Ceanothus griseus horizontalis 'Yankee Point' - Wild Lilac



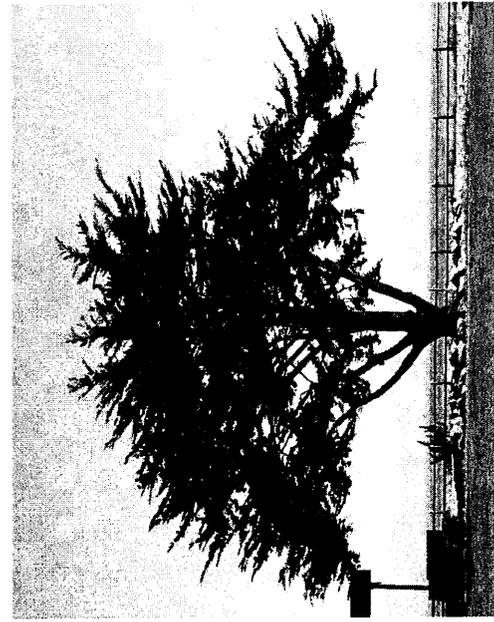
Rhus integrifolia - Lemonade Berry



Melaleuca nesiphila - Pink Melaleuca

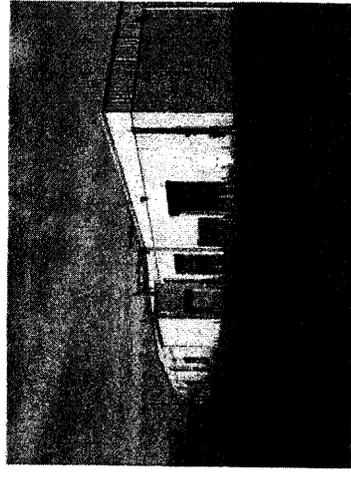


Callistemon viminalis - Weeping Bottlebrush

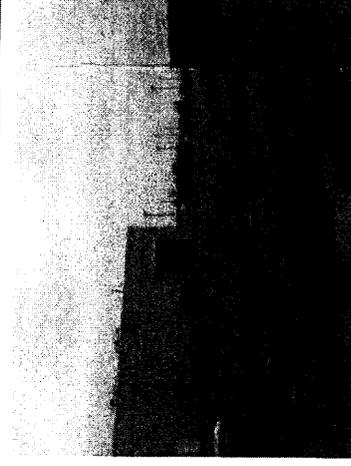


Cupressus macrocarpa - Monterey Cypress

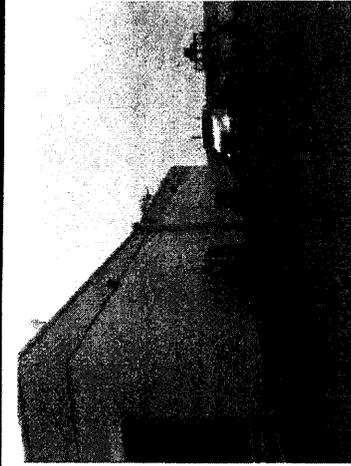
CITY OF QUADALLIFE APPROVED ALTERNATE LANDSCAPE SPECIES - APO COOLING INC.



1 APIC COOLING EXISTING BUILDING



2



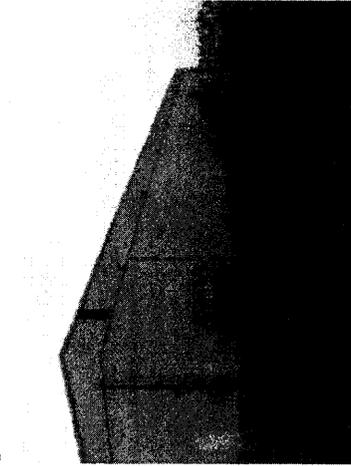
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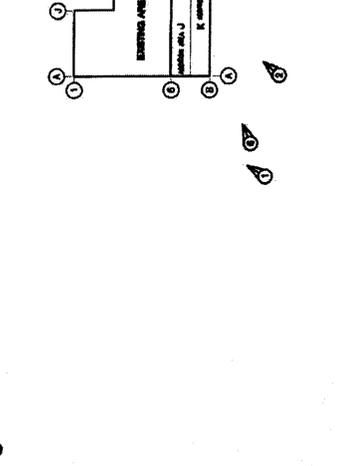
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7



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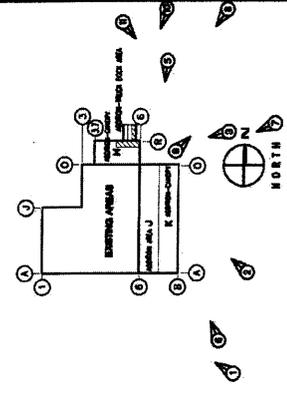


PHOTO KEYPLAN

SCALE: 1/8" = 1'-0"



ARCHITECTS
 1000 UNIVERSITY AVENUE
 SUITE 1000
 COLUMBIANA, WYOMING 82101
 TEL: 307.342.1234
 FAX: 307.342.1235
 WWW.RAARCHITECTS.COM

CLIENT
 PROJECT
 DATE

REVISIONS

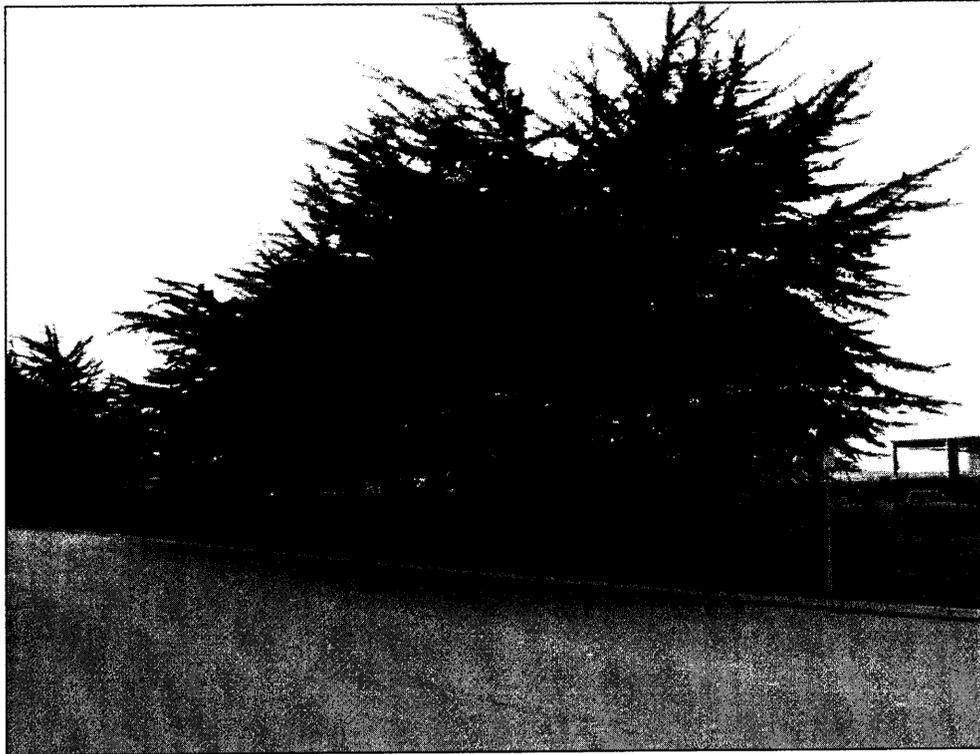


PROJECT
 APIC COOLING EXISTING BUILDING
 1000 UNIVERSITY AVENUE
 SUITE 1000
 COLUMBIANA, WY 82101

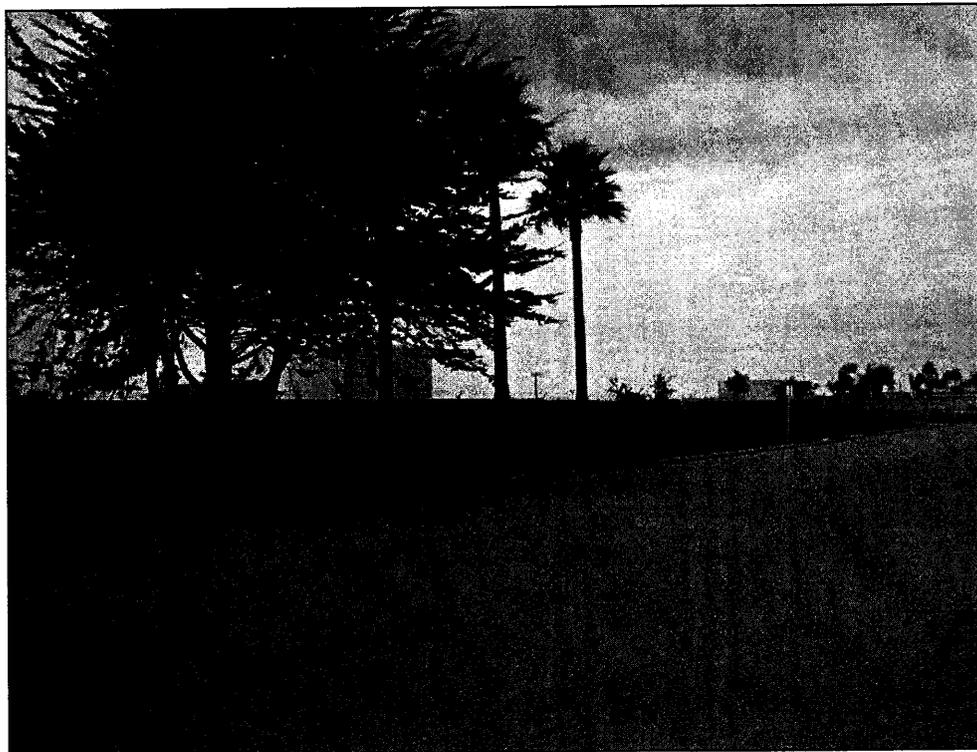
SHEET TITLE
 SITE PHOTOGRAPHS



DATE: 10/10/2010
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NUMBER: [Number]
 SHEET NUMBER: [Number]
 TOTAL SHEETS: [Number]



Existing landscaping with new landscaping looking southwest along Obispo Street.



Some existing landscaping (left) with new landscaping (right) looking northwest along Obispo Street.



New landscaping looking west towards Apio facilities.



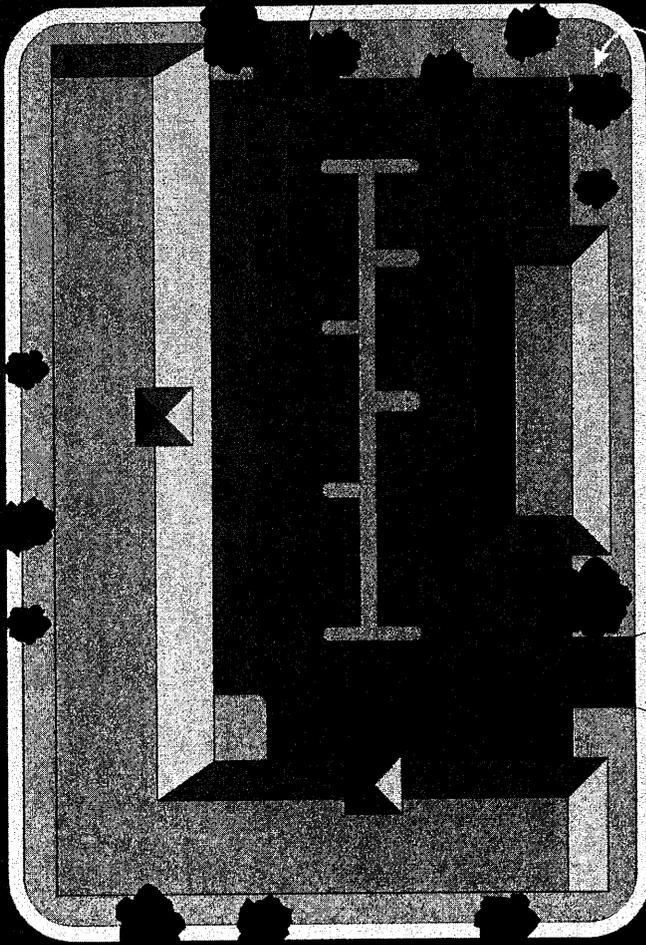
Building expansion (left) beyond existing landscaping and new landscaping.

Project Review Workshop
Staff Report

**Plaza de Guadalupe Sign
Attachments (9-12)**

SITE PLAN

ALMAGUER AVE.



JULIA DR.

PROPOSED MONUMENT LOCATION

W. MAIN ST.

PIONEER ST.



30° SIGHT CONTROL TRIANGLE

CERTIFICATE OF COMPLIANCE

Per Title 24 parts 1 and 6 of the California Code of Regulations.
This certificate applies only to sign lighting requirements.

The Principal Lighting Designer hereby certifies that the proposed outdoor sign design(s) represented in this set of permit documents is consistent with the other compliance forms and worksheets, with the specifications, and with any other calculations submitted with this permit application. The proposed sign(s) has been designed to meet the prescriptive lighting requirements contained in the applicable parts of Section 130(c) of Title 24, Part 6. The Principal Lighting Designer is eligible under the provisions of Division 3 of the Business and Professions Code by Section 5537.2 or 6737.3 to sign this document as the person responsible for its preparation, and is a licensed contractor performing this work.

QUANTITY OF SIGNS 1

LIGHTING TECHNOLOGY
 METAL HALIDE (M) NEON/COLD CATHODE (O)
 LED (P) HO FLUORESCENT (R)
 ELECTRONIC BALLASTS W/20KHz+ OUTPUT (S)

CONTROL LOCATION Electric panel

CONTROL IDENTIFICATION Labeled at panel

CONTROL TYPE
 TIMER PHOTOCELL OTHER

PRINCIPAL LIGHTING DESIGNER/DOCUMENTATION AUTHOR-NAME
Bruce Severance

SIGNATURE *Bruce Severance*

DATE 7/8/2009

This statement replaces forms OLTG-1-C and OLT-4-C as allowed.

CLIENT CONTACT Bruno Bormino

CLIENT PHONE 805-801-1759

CLIENT SIGNATURE *Bruno Bormino*

LANDLORD SIGNATURE _____

DATE 7/8/2009

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 TITLE 17, U.S. CODE. THIS
 ORIGINAL WORK REMAINS
 THE PROPERTY OF
 SIGNCRAFT INC.

PROJECT DESCRIPTION Monument Sign for Plaza de Guadalupe

PROJECT ADDRESS 4723 W Main St., Guadalupe, CA

LANDLORD / PROPERTY MANAGER Bruno Bormino

LANDLORD PHONE 805-801-1759

LANDLORD ADDRESS 1183 Shannon Lane, Arroyo Grande, CA 93420

DATE July 7, 2009

SHEET 3 of 3

SCALE None

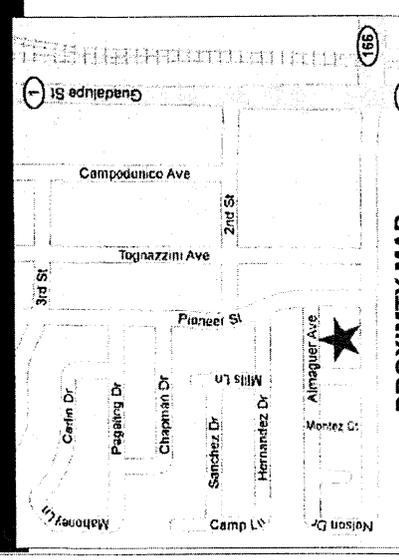
SIGNCRAFT CONTACT Bruce Severance

C-45 LIC#827970

Liability Policy:
 #PASA1461576

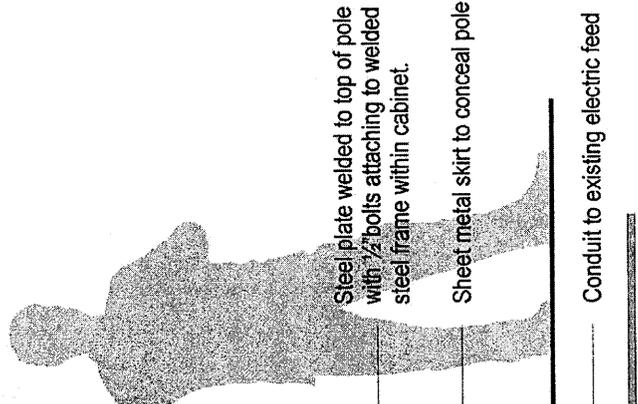
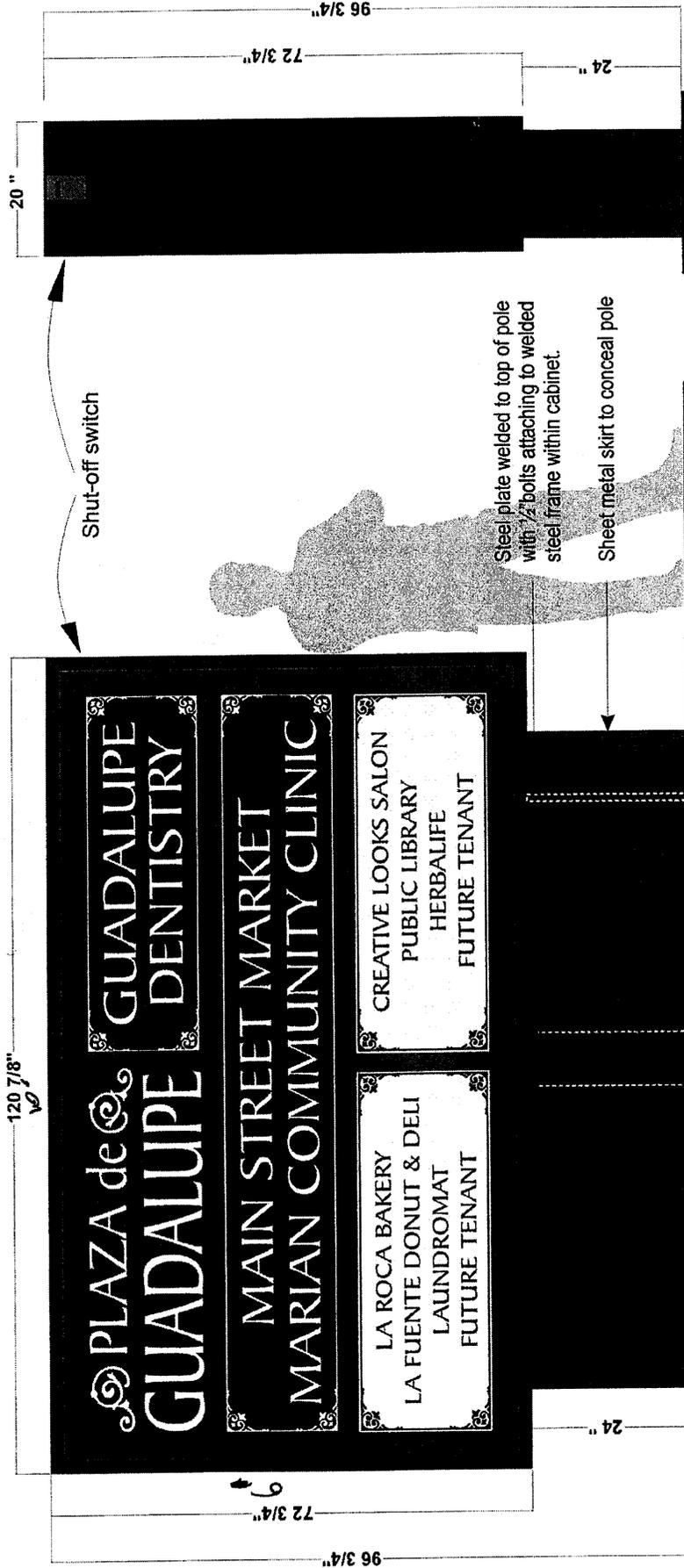
Redwood Fire
 & Casualty
 #4407008650-081

SIGNCRAFT
 ELECTRICAL SIGNS-BANNERS-WIDE FORMAT COLOR FRONTS-VEHICLE GRAPHICS
 307 E. Main Street, Santa Maria, CA 93454
 (905) 925-7775 • Fax: 925-7158



PROXIMITY MAP

120 7/8" W



8" Support pole

1/2" Rebar or all thread to anchor pole

Rubble under pole

SIGN DESCRIPTION: Re-location of existing fluorescent illuminated sign cabinet (from Ocean Avenue Bowling Alley). Sign to have new Tufglas (acrylic-alloy) sign faces with 3 color vinyl graphic overlays. Installed onto cast concrete foundation 4' deep, 2' wide (depth of sign base) and 3' long.

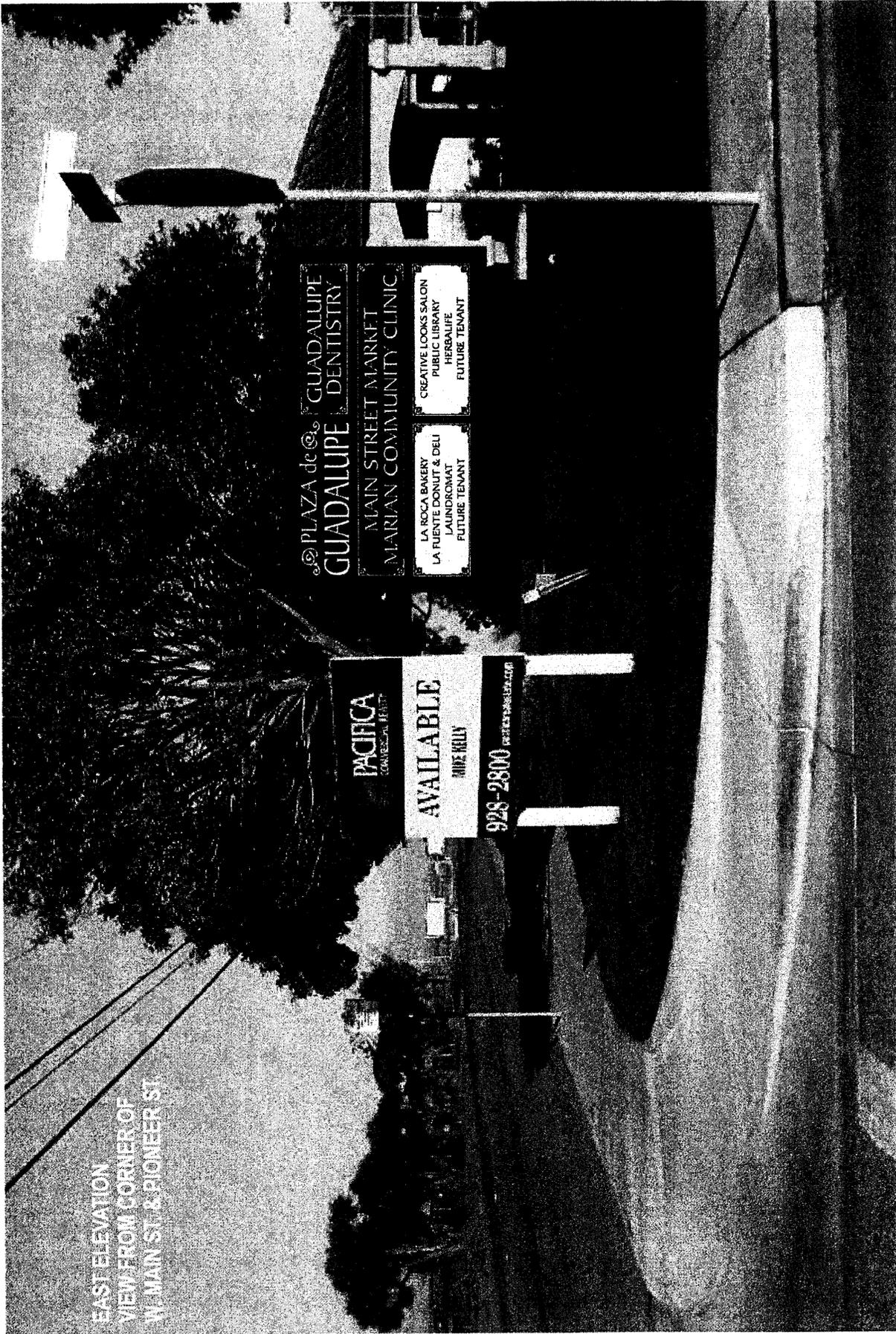
RECEIVED

JUL 14 2009

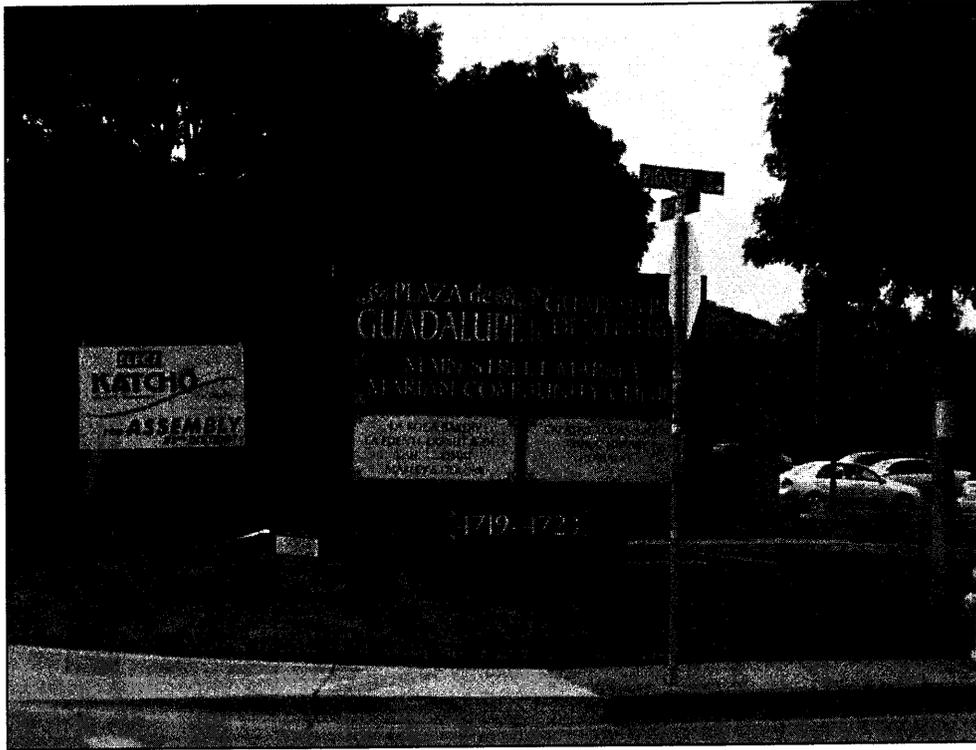
City of Guadalupe
Planning Dept.

 <p>SIGNCRAFT ELECTRICAL SIGNS • BANNERS • WIDE FORMAT COLOR PRINTS • VEHICLE GRAPHICS 307 E. Main Street, Santa Maria, CA 93454 (805) 925-7775 • Fax: 925-7158</p>		<p>C-45 LIC#827970 Liability Policy: #PASA1461576 Redwood Fire & Casualty #4407008650-081</p>	<p>DATE: July 7, 2009 SHEET: 1 of 3 SCALE: 1/2" = 1' SIGNCRAFT CONTACT: Bruce Severance</p>	<p>PROJECT DESCRIPTION: Monument Sign for Plaza de Guadalupe PROJECT ADDRESS: 4723 W Main St., Guadalupe, CA LANDLORD / PROPERTY MANAGER: Bruno Bormino LANDLORD PHONE: 805-801-1759 LANDLORD ADDRESS: 1183 Shannon Lane, Arroyo Grande, CA 93420</p>	<p>CLIENT CONTACT: Bruno Bormino CLIENT PHONE: 805-801-1759 CLIENT SIGNATURE: _____ LANDLORD SIGNATURE: _____</p>	<p>©2009 SignCraft, Inc. ALL RIGHTS RESERVED AND PROTECTED UNDER TITLE 17, U.S. CODE. THIS ORIGINAL WORK REMAINS THE PROPERTY OF SIGNCRAFT INC.</p>
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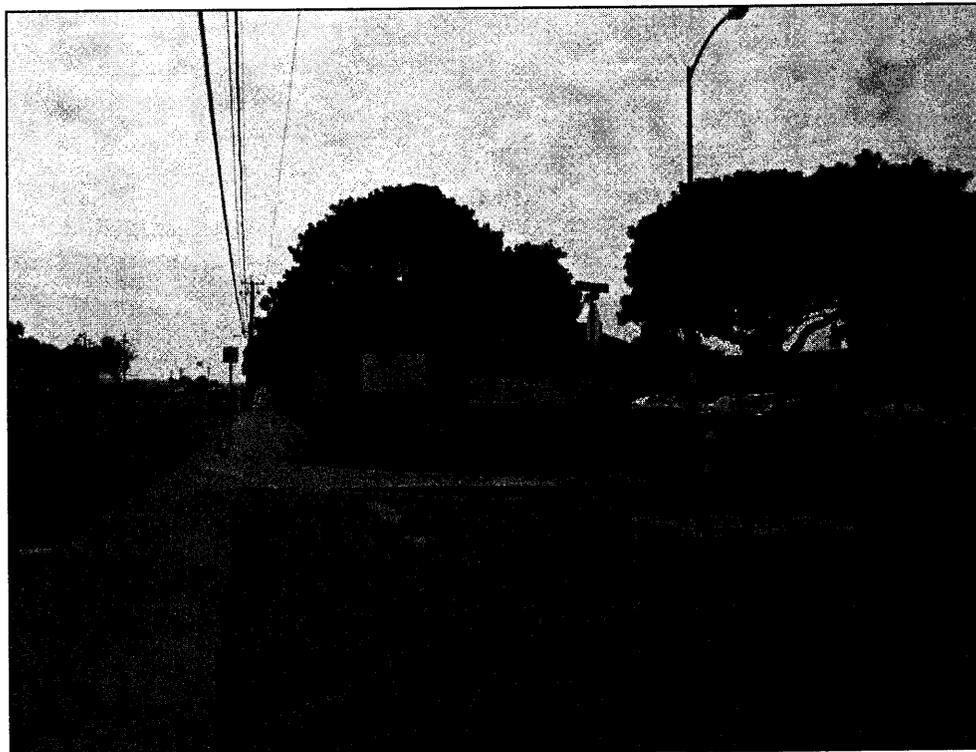
EAST ELEVATION
VIEW FROM CORNER OF
W. MAIN ST. & PIONEER ST.



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CLIENT CONTRACT BRUNO BORNINO	PROJECT DESCRIPTION Monument Sign for Plaza de Guadalupe
CLIENT PHONE 805-801-1759	PROJECT ADDRESS 4723 W Main St., Guadalupe, CA
CLIENT SIGNATURE BRUNO BORNINO	LANDLORD PHONE 805-801-1759
LANDLORD SIGNATURE BRUCE SEVERANCE	LANDLORD PROPERTY MANAGER Bruno Bornino
	LANDLORD ADDRESS 1183 Shannon Lane, Arroyo Grande, CA 93420
DATE July 7, 2009	SCALE 1/4" = 1'
SHEET 2 of 3	SIGNCRAFT CONTRACT Bruce Severance
C-45 LIC#27970 Liability Policy: #PAS41461576 Redwood Fire & Casualty #407008650-081	 ELECTRICAL SIGNS • BANNERS • VIDE FORNAT COLOR PRINTS • VEHICLE GRAPHICS 307 E. Main Street, Santa Maria, CA 93454 (805) 925-7775 • Fax: 925-7158



Plaza de Guadalupe sign looking west from the corner of Pioneer Street and West Main Street.



Plaza de Guadalupe sign streetview from West Main Street looking west.